

Public Document Pack



NOTICE OF MEETING

Meeting:	Planning Committee
Date and Time:	Wednesday 20 July 2022 7.00 pm
Place:	Council Chamber
Enquiries to:	Committee Services committeeservices@hart.gov.uk
Members:	Quarterman (Chairman), Blewett, Cockarill, Forster, Kennett, Makepeace-Browne, Oliver, Radley, Southern, Worlock and Wildsmith

Joint Chief Executive

CIVIC OFFICES, HARLINGTON WAY
FLEET, HAMPSHIRE GU51 4AE

AGENDA

This Agenda and associated appendices are provided in electronic form only and are published on the Hart District Council Website.

Please download all papers through the Modern.Gov app before the meeting.

- **At the start of the meeting, the Lead Officer will confirm the Fire Evacuation Procedure.**
- **The Chairman will announce that this meeting will be recorded and that anyone remaining at the meeting has provided their consent to any such recording.**

1 MINUTES OF PREVIOUS MEETING (Pages 3 - 6)

The Minutes of the meeting held on 15 June 2022 to be confirmed and signed as a correct record.

2 APOLOGIES FOR ABSENCE

To receive any apologies for absence from Members*.

***Note:** Members are asked to email Committee Services in advance of the meeting as soon as they become aware they will be absent.

3 DECLARATIONS OF INTEREST

To declare disclosable pecuniary, and any other, interests*.

***Note:** Members are asked to email Committee Services in advance of the meeting as soon as they become aware they may have an interest to declare.

4 CHAIRMAN'S ANNOUNCEMENTS

5 DEVELOPMENT APPLICATIONS (Pages 7 - 12)

To consider the planning reports from the Head of Place, and to accept updates via the Addendum.

6 21/01800/FUL - BUILDING 260, 270 AND 280 BARTLEY WOOD BUSINESS PARK, BARTLEY WAY, HOOK, HAMPSHIRE (Pages 13 - 46)

7 21/02749/FUL - LAND LYING TO THE NORTH OF VICARAGE LANE, HOUND GREEN, HOOK, HAMPSHIRE (Pages 47 - 76)

8 22/00197/HOU - 87 ROSEMARY GARDENS, BLACKWATER, CAMBERLEY, GU17 0NJ (Pages 77 - 92)

9 22/01164/HOU - 79 WESTOVER ROAD, FLEET, HAMPSHIRE, GU51 3DE (Pages 93 - 105)

10 21/02743/FUL - THE ELVETHAM HOTEL, FLEET ROAD, HARTLEY WINTNEY, HOOK, HAMPSHIRE, RG27 8AR (Pages 106 - 151)

11 21/02744/LBC - THE ELVETHAM HOTEL, FLEET ROAD, HARTLEY WINTNEY, HOOK, HAMPSHIRE, RG27 8AR (Pages 152 - 187)

Date of Publication: Tuesday, 12 July 2022

Public Document Pack Agenda Item 1

PLANNING COMMITTEE

Date and Time: Wednesday 15 June 2022 at 7.00 pm

Place: Council Chamber

Present:

Quarterman (Chairman), Blewett, Cockarill, Forster, Kennett, Makepeace-Browne, Oliver (Vice-Chairman), Radley, Southern, Worlock and Wildsmith

In attendance:

Tim Burden, Turley
David Gilchrist, Berkeley Homes Southern

Officers:

Mark Jaggard, Head of Place
Steph Baker, Development Management & Building Control Manager
Tola Otudeko, Shared Legal Services
Sharon Black, Committee Services Manager
Jenny Murton, Committee Services Officer

1 ELECTION OF VICE CHAIRMAN

Councillor Oliver was elected as Vice-Chairman.

2 MINUTES OF PREVIOUS MEETING

The minutes of the meeting held on 9 March 2022 were confirmed and signed as a correct record.

Members were aware that the Planning Major Sites Sub-Committee Minutes for meetings held on 22 September 2021 and 1 March 2022 were included in the Agenda but were for noting only, not for approval.

Members questioned whether discussions had concluded on securing additional car parking spaces for the application discussed at the meeting on 22 September 2021.

The Development Management & Building Control Manager confirmed that for application 2101254/REM included in the Minutes (the 39-unit scheme at Grove Farm, phase 2) eight additional visitor spaces and six allocated spaces had been agreed.

3 APOLOGIES FOR ABSENCE

None.

4 DECLARATIONS OF INTEREST

Councillor Forster declared a non-prejudicial interest as he is also a Hampshire County Councillor and footpaths are featured in the application.

Councillor Oliver declared a non-prejudicial interest as he is also a Fleet Town Councillor, and Section 106 agreements are included in the application.

5 CHAIRMAN'S ANNOUNCEMENTS

The Chairman had two announcements:

1. The Chairman highlighted the site visit that had occurred on Tuesday 14 June and announced that he wanted to give more notice to the Committee for future site visits.

The Development Management & Building Control Manager agreed that where possible, she will give more notice to the Planning Committee for visits on future applications.

It was agreed that recurring tentative site visit (email) invitations for the Tuesday morning before the Wednesday Planning Committee would be sent to Planning Committee Members. The deadline for members of the Committee to request a site visit would now be the Thursday the week before Planning Committee rather than Friday.

2. The Chairman announced that an email poll would be set up to determine the most suitable August date to hold the tour of completed developments with an Urban Designer, which had to be postponed from February 2022.

6 PLANNING (ENFORCEMENT) SUB-COMMITTEE

Councillors Blewett, Makepeace-Browne, Oliver and Southern, were appointed as members of the Planning (Enforcement) Sub Committee.

7 PLANNING (MAJOR SITES) SUB-COMMITTEE

Councillors Cockarill, Forster, Radley and Worlock were appointed as members of the Planning (Major Sites) Sub Committee.

8 PLANNING (MAJOR SITES) SUB-COMMITTEE MINUTES

The Minutes of the Planning Major Sites Sub-Committees held on 22 September 2021 and 1 March 2022 were noted.

9 QEB TRANSPORT STEERING GROUP

Councillors Oliver, Makepeace-Browne and Radley were appointed as Hart District Council Members of the QEB Transport Steering Group.

10 PLANNING COMMITTEE WORKING PARTY

Councillors Cockarill, Kennett, Oliver, Quarterman and Southern were appointed as members of the Planning Committee Working Party.

11 DEVELOPMENT APPLICATIONS

Updates via the Addendum were accepted, and the Committee considered the Planning report from the Head of Place.

12 21/02782/OUT - LAND NORTH OF NETHERHOUSE COPSE, HITCHES LANE, FLEET

The Development Management & Building Control Manager summarised the hybrid planning application, seeking full planning permission for:

The erection of 185 residential dwellings (Use Class C3) with access, parking, landscaping, public open space and other associated works and Outline Planning Permission for the erection of up to 126 residential dwellings (Use Class C3) and a flexible mixed-use neighbourhood store/cafe coworking space of up to 150sqm (Use Class E) with all matters reserved except for access.

Members considered the application and discussed the following:

- That the total number of homes for phases 1 and 2 of the scheme is 217.
- The Community Centre/Café and where on the site this will be located.
- Availability of SANG at Edenbrook.
- Whether protection exists against potential increase of homes in phases 4 and 5 and the number of units in phase 5.
- How the new proposed cycle way will link into existing network.
- That there is no church as part of the application however the proposed Community Centre is suggested for multi-use.
- Parking situation at the Edenbrook development and how that compares to this proposal.
- The number of additional school places expected from the development.
- EV charging points and bus service provisions.
- The green spaces proposed on the site, their location and protection from potential future applications.
- That the proposal would take the site overall to 528 units.

Members debated:

- Car usage and extra traffic the site will generate.
- Traffic calming measures
- Cycle security

- Parking management
- The enhanced mix of different sizes and types of housing proposed for the site.

Members undertook a recorded vote and Grant was carried.

DECISION – GRANT

In consultation with the Chairman and Ward Councillor and Portfolio Holder for Planning, the Head of Place was delegated planning permission subject to the completion of a suitable legal agreement to secure:

- i. 40% on-site affordable housing;
- ii. Healthcare contribution to the Clinical Commissioning Group (CCG) for additional GP service provision;
- iii. Strategic Access Management and Monitoring (SAMM) contribution;
- iv. Financial contributions for Leisure and Sport;
- v. Financial contributions to Hampshire County Council (HCC) as Local Education Authority for Special Educational Needs and Disability (SEND) provision;
- vi. Financial contributions to HCC as Local Highway Authority in relation to off-site highways improvements, Travel Plan and pedestrian crossing on Hitches Lane;
- vii. Basingstoke Canal Towpath financial contribution
- viii. Provision of off-site cycleway connection to Fleet Road (High Street)
- ix. The Council's administrative costs of administering, monitoring and discharging the clauses in the S106 legal agreement

and subject to the planning conditions listed at the end of the report and addendum, which are subject to amendment, rationalisation or expansion in agreement with the Chairman and Ward Councillor.

Notes:

Members undertook a site visit took place on Tuesday 14 June which was attended by Councillors Blewett, Kennett, Makepeace-Browne and Quarterman (Chairman).

Mr Tim Burden from Turley spoke for the application and Mr David Gilchrist from Berkley Homes Southern answered questions in addition.

The meeting closed at 8.51 pm



HEAD OF PLACE
REPORT TO THE PLANNING COMMITTEE OF
2022-23

1. INTRODUCTION

This agenda considers planning applications submitted to the Council, as the Local Planning Authority, for determination

2. STATUS OF OFFICER'S RECOMMENDATIONS AND COMMITTEE'S DECISIONS

All information, advice, and recommendations contained in this agenda are understood to be correct at the time of preparation, which is approximately two weeks in advance of the Committee meeting. Because of the time constraints, some reports may have been prepared before the final date for consultee responses or neighbour comment. Where a recommendation is either altered or substantially amended between preparing the report and the Committee meeting or where additional information has been received, a separate "Planning Addendum" paper will be circulated at the meeting to assist Councillors. This paper will be available to members of the public.

3. THE DEBATE AT THE MEETING

The Chairman of the Committee will introduce the item to be discussed. A Planning Officer will then give a short presentation and, if applicable, public speaking will take place (see below). The Committee will then debate the application with the starting point being the officer recommendation.

4. SITE VISITS

A Panel of Members visits some sites on the day before the Committee meeting. This can be useful to assess the effect of the proposal on matters that are not clear from the plans or from the report. The Panel does not discuss the application or receive representations although applicants and Town/Parish Councils are advised of the arrangements. These are not public meetings. A summary of what was viewed is given on the Planning Addendum.

5. THE COUNCIL'S APPROACH TO THE DETERMINATION OF PLANNING APPLICATIONS

When considering development proposals, the Council will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework (NPPF).

It will always work proactively with applicants jointly to find solutions which mean that proposals can be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area. This means that any discussions with applicants and developers at both pre-application and application stage will be positively framed as both parties work together to find solutions to problems. This does not necessarily mean that development that is unacceptable in principle or which causes harm to an interest of acknowledged importance, will be allowed.

The development plan is the starting point for decision making. Proposals that accord with the

development plan will be approved without delay. Development that conflicts with the development plan will be refused unless other material considerations indicate otherwise.

Where there are no policies relevant to the application or relevant policies are out of date the Council will seek to grant permission unless material considerations indicate otherwise – taking into account whether:

- Any adverse impacts of granting permission would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Local Plan taken as a whole; or
- Specific policies in the development plan indicate that development should be restricted.

Unsatisfactory applications will however, be refused without discussion where:

- The proposal is unacceptable in principle and there are no clear material considerations that indicate otherwise; or
- A completely new design would be needed to overcome objections; or
- Clear pre-application advice has been given, but the applicant has not followed that advice; or
- No pre-application advice has been sought.

6. PLANNING POLICY

The relevant development plans are:

- Hart Local Plan (Strategy and Sites) 2032, adopted April 2020
- Saved Policies from the Hart Local Plan (Replacement) 1996-2006 (updated 1st May 2020)
- Policy NRM6 (Thames Basin Heaths Special Protection Area) of the South East Plan (adopted May 2009)
- Hampshire, Portsmouth, Southampton, New Forest National Park and South Downs National Park Minerals and Waste Local Plan 2013
- ‘Made’ Neighbourhood Plans for the following Parishes: Crondall; Crookham Village; Dogmersfield; Fleet; Hartley Wintney; Hook; Odiham and North Warnborough; Rotherwick; Winchfield.

Although not necessarily specifically referred to in the Committee report, the relevant development plan will have been used as a background document and the relevant policies taken into account in the preparation of the report on each item.

7. THE NATIONAL PLANNING POLICY FRAMEWORK AND PLANNING PRACTICE GUIDANCE

Government statements of planning policy are material considerations that must be taken into account in deciding planning applications. Where such statements indicate the weight that should be given to relevant considerations, decision-makers must have proper regard to them.

The Government has also published the Planning Practice Guidance which provides information on a number of topic areas. Again, these comments, where applicable, are a material consideration which need to be given due weight.

8. OTHER MATERIAL CONSIDERATIONS

Material planning considerations must be genuine planning considerations, i.e. they must be related to the purpose of planning legislation, which is to regulate the development and use of land in the public interest. Relevant considerations will vary from circumstance to circumstance

and from application to application.

Within or in the settings of Conservation Areas or where development affects a listed building or its setting there are a number of statutory tests that must be given great weight in the decision making process. In no case does this prevent development rather than particular emphasis should be given to the significance of the heritage asset.

The Council will base its decisions on planning applications on planning grounds alone. It will not use its planning powers to secure objectives achievable under non-planning legislation, such as the Building Regulations or the Water Industries Act. The grant of planning permission does not remove the need for any other consents, nor does it imply that such consents will necessarily be forthcoming.

Matters that should not be taken into account are:

- loss of property value
- land and boundary disputes
- the impact of construction work
- need for development (save in certain defined circumstances)
- ownership of land or rights of way
- change to previous scheme
- or matters that are dealt with by other legislation, such as the Building Regulations (e.g. structural safety, fire risks, means of escape in the event of fire etc.). - The fact that a development may conflict with other legislation is not a reason to refuse planning permission or defer a decision. It is the applicant's responsibility to ensure compliance with all relevant legislation.
- loss of view
- matters covered by leases or covenants
- property maintenance issues
- the identity or personal characteristics of the applicant
- moral objections to development like public houses or betting shops
- competition between firms,

The Council will base its decisions on planning applications on planning grounds alone. It will not use its planning powers to secure objectives achievable under non-planning legislation, such as the Building Regulations or the Water Industries Act. The grant of planning permission does not remove the need for any other consents, nor does it imply that such consents will necessarily be forthcoming.

9. PLANNING CONDITIONS AND OBLIGATIONS

When used properly, conditions can enhance the quality of development and enable development proposals to proceed where it would otherwise have been necessary to refuse planning permission, by mitigating the adverse effects of the development. Planning conditions should only be imposed where they are:

- necessary;
- relevant to planning and;
- to the development to be permitted;
- enforceable;
- precise and;
- reasonable in all other respects.

It may be possible to overcome a planning objection to a development proposal equally well by imposing a condition on the planning permission or by entering into a planning obligation. In such cases the Council will use a condition rather than seeking to deal with the matter by means of a planning obligation.

Planning obligations mitigate the impact of unacceptable development to make it acceptable in planning terms. Obligations should meet the tests that they are:

- necessary to make the development acceptable in planning terms,
- directly related to the development, and
- fairly and reasonably related in scale and kind.

These tests are set out as statutory tests in the Community Infrastructure Levy Regulations 2010. There are also legal restrictions as to the number of planning obligations that can provide funds towards a particular item of infrastructure.

10. PLANNING APPEALS

If an application for planning permission is refused by the Council, or if it is granted with conditions, an appeal can be made to the Secretary of State against the decision, or the conditions. Reasons for refusal must be:

- Complete,
- Precise,
- Specific
- Relevant to the application, and
- Supported by substantiated evidence.

The Council is at risk of an award of costs against it if it behaves “unreasonably” with respect to the substance of the matter under appeal, for example, by unreasonably refusing or failing to determine planning applications, or by unreasonably defending appeals. Examples of this include:

- Preventing or delaying development which should clearly be permitted, having regard to its accordance with the development plan, national policy and any other material considerations.
- Failure to produce evidence to substantiate each reason for refusal on appeal.
- Vague, generalised or inaccurate assertions about a proposal’s impact, which are unsupported by any objective analysis.
- Refusing planning permission on a planning ground capable of being dealt with by conditions risks an award of costs, where it is concluded that suitable conditions would enable the proposed development to go ahead.
- Acting contrary to, or not following, well-established case law
- Persisting in objections to a scheme or elements of a scheme which the Secretary of State or an Inspector has previously indicated to be acceptable.
- Not determining similar cases in a consistent manner
- Failing to grant a further planning permission for a scheme that is the subject of an extant or recently expired permission where there has been no material change in circumstances.
- Refusing to approve reserved matters when the objections relate to issues that should already have been considered at the outline stage.
- Imposing a condition that is not necessary, relevant to planning and to the development to be permitted, enforceable, precise and reasonable in all other respects, and thus does not comply with the guidance in the NPPF on planning conditions and obligations.
- Requiring that the appellant enter into a planning obligation which does not accord with the law or relevant national policy in the NPPF, on planning conditions and obligations.
- Refusing to enter into pre-application discussions, or to provide reasonably requested information, when a more helpful approach would probably have resulted in either the appeal being avoided altogether, or the issues to be considered being narrowed, thus reducing the expense associated with the appeal.
- Not reviewing their case promptly following the lodging of an appeal against refusal of planning permission (or non-determination), or an application to remove or vary one or more conditions, as part of sensible on-going case management.
- If the local planning authority grants planning permission on an identical application where the evidence base is unchanged and the scheme has not been amended in any

way, they run the risk of a full award of costs for an abortive appeal which is subsequently withdrawn.

Statutory consultees (and this includes Parish Council's) play an important role in the planning system: local authorities often give significant weight to the technical advice of the key statutory consultees. Where the Council has relied on the advice of the statutory consultee in refusing an application, there is a clear expectation that the consultee in question will substantiate its advice at any appeal. Where the statutory consultee is a party to the appeal, they may be liable to an award of costs to or against them.

11. PROPRIETY

Members of the Planning Committee are obliged to represent the interests of the **whole** community in planning matters and not simply their individual Wards. When determining planning applications, they must take into account planning considerations only. This can include views expressed on relevant planning matters. Local opposition or support for a proposal is not in itself a ground for refusing or granting planning permission unless it is founded upon valid planning reasons.

12. PRIVATE INTERESTS

The planning system does not exist to protect the private interests of one person against the activities of another, although private interests may coincide with the public interest in some cases. It can be difficult to distinguish between public and private interests, but this may be necessary on occasion. The basic question is not whether owners and occupiers of neighbouring properties would experience financial or other loss from a particular development, but whether the proposal would unacceptably affect amenities and the existing use of land and buildings that ought to be protected in the public interest. Covenants or the maintenance/protection of private property are therefore not material planning consideration.

13. OTHER LEGISLATION

Non-planning legislation may place statutory requirements on planning authorities or may set out controls that need to be taken into account (for example, environmental legislation, or water resources legislation). The Council, in exercising its functions, also must have regard to the general requirements of other legislation, in particular:

- The Human Rights Act 1998,
- The Equality Act 2010.

14. PUBLIC SPEAKING

The Council has a public speaking scheme, which allows a representative of the relevant Parish Council, objectors and applicants to address the Planning Committee. Full details of the scheme are on the Council's website and are sent to all applicants and objectors where the scheme applies. Speaking is only available to those who have made representations within the relevant period or the applicant. It is not possible to arrange to speak to the Committee at the Committee meeting itself.

Speakers are limited to a total of three minutes each per item for the Parish Council, those speaking against the application and for the applicant/agent. Speakers are not permitted to ask questions of others or to join in the debate, although the Committee may ask questions of the speaker to clarify representations made or facts after they have spoken. For probity reasons associated with advance disclosure of information under the Access to Information Act, nobody will be allowed to circulate, show or display further material at, or just before, the Committee meeting.

15. LATE REPRESENTATIONS

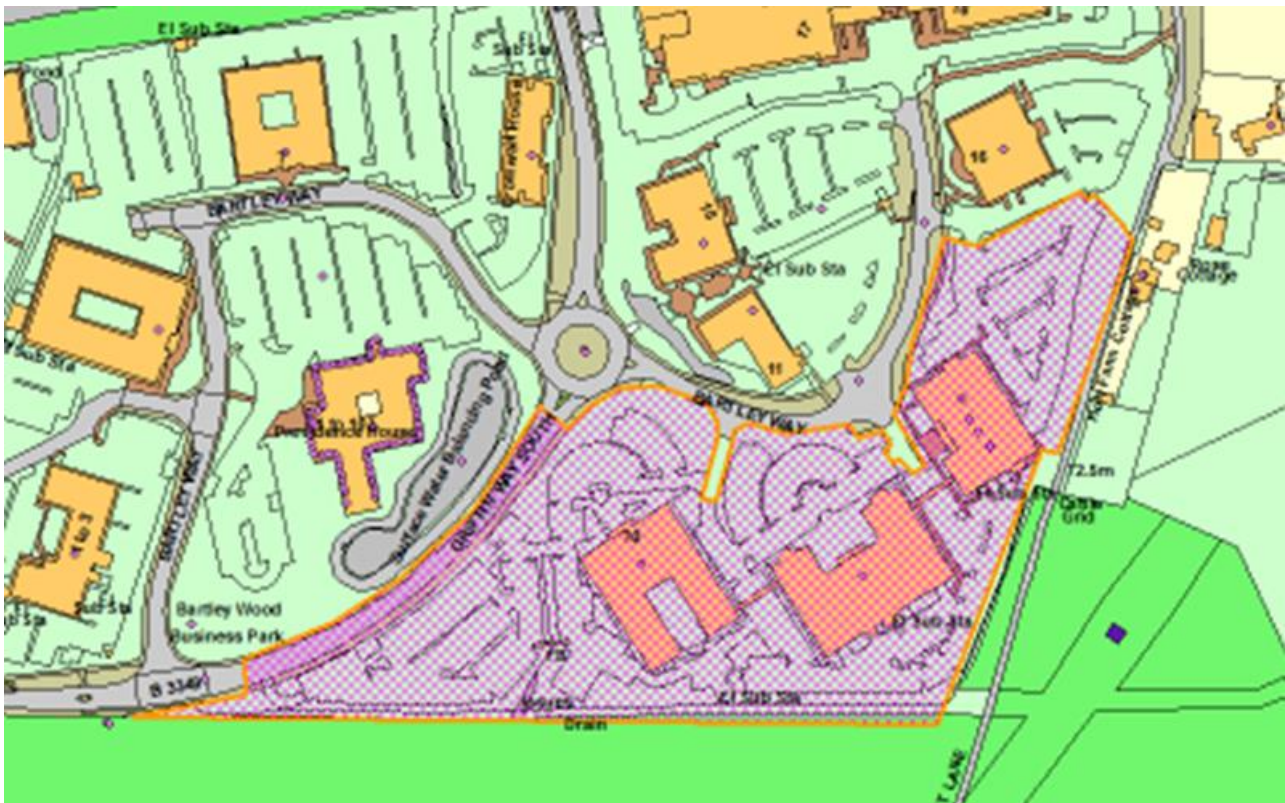
To make sure that all documentation is placed in the public domain and to ensure that the Planning Committee, applicants, objectors, and any other party has had a proper opportunity to consider further, or new representations no new additional information will be allowed to be submitted less than 48 hours before the Committee meeting, except where to correct an error of fact in the report. Copies of individual representations will not be circulated to Members.

16. INSPECTION OF DRAWINGS

All drawings are available for inspection on the internet at www.hart.gov.uk

COMMITTEE REPORT ITEM NUMBER 6:

APPLICATION NO.	21/01800/FUL
LOCATION	Building 260, 270 and 280 Bartley Wood Business Park Bartley Way Hook Hampshire
PROPOSAL	Redevelopment of the site to provide 10 industrial units (14,122 sqm of floorspace for Flexible Use Class B2/B8/E(g)(i)-(iii)), together with associated parking, a new vehicular access off Griffin Way South, landscaping and other associated works (following demolition of existing buildings).
APPLICANT	c/o
CONSULTATIONS EXPIRY	10 May 2022
APPLICATION EXPIRY	28 October 2021
WARD	Hook
RECOMMENDATION	Grant, subject to planning conditions



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BACKGROUND

The original development proposal was for the construction of 9 industrial units (12,212 sqm of floorspace for Flexible Use Class B1/B8/E(g)(i) -(iii)) and 1 food store (1963 sqm of floorspace for Use Class E(a)), together with associated parking, a new vehicular access off Griffin Way South, landscaping and other associated works.

However, through the consideration process of this application, the food store was removed from the scheme and replaced with a further industrial unit of smaller footprint with a scale/form/design similar to the other 9 industrial units in the scheme.

Ward Members have requested the referral of this application to Planning Committee for determination with the agreement of the Chairman of the Planning Committee, due to their concerns about:

- Hours/timetable of operation.
- Noise & air pollution
- HGV parking in surrounding streets.
- Impact on Providence House and Holt Lane residents.
- Shielding of boundary to Holt Lane.

SITE

The 3.9-hectare site is located within the Bartley Wood Business Park, to the south and east of Bartley Way within Hook's defined settlement boundary. The site is occupied by three detached three-storey buildings which suffered from long term vacancy but with a lawful office use. The buildings are currently being stripped out internally as demolition is likely to occur in the near future (regardless of this application). Their surrounding grounds mainly accommodated car parking and vehicular circulation space. The larger green areas contained within the site adjoin its frontage with Griffin Way South and there are linear pockets of greenery in between car parking bays.

Adjoining properties to the north are also substantial buildings in business use with car parking courts. The closest residential properties are located on the opposite side of Griffin Way South to the west with a four-storey residential building and those along Holt Lane to the east from the subject site. Land to the east beyond existing dwellings and south of the site is countryside.

SITE/SURROUNDING DESIGNATIONS

- The site falls within the settlement boundary of Hook.
- The site falls within Flood Zone 1 from rivers. However, an area towards the western end of the site and other pockets along the boundary in the southeast corner of the site fall within an area of medium-high risk of surface water flooding.
- The site adjoins a Site of Special Scientific Interest (SSSI) - Hook Common and Bartley Heath, which is also designated as Common Land.
- The site is also adjoined by areas subject to Tree Preservation Orders, located along the eastern boundary of the site and there is a TPO belt crossing the site in a north-south direction close to the western end.
- A Public Right of Way adjoins the site to the east, running along Holt Lane.
- The site falls within an Article 4 direction designation preventing change of use from employment (Land Use Classes B and E (g) i-iii) to residential uses (Land Use Class C3).

PROPOSAL

Planning permission is sought to construct 10 industrial units (of 14,122 sqm floorspace) for Flexible Use Class B2/B8/E(g)(i)-(iii)), together with associated parking, a new vehicular access off Griffin Way South, landscaping and other associated works (following demolition of the existing buildings).

Note:

It should be noted that all the reports and statements submitted with this application requested as part of the proposed uses a general industrial use (Land Use Class B2), despite the initial application form stating light industrial (Land Use Class B1) being one of the proposed uses. Light industrial uses are now categorised under Use Class E and are part of the proposed uses sought under this permission, as described above.

RELEVANT PLANNING HISTORY

22/00559/PRIOR – Prior Approval Granted, 11.04.2022
Demolition of Buildings nos. 260, 270, 280 at Bartley Wood Business Park.

17/00814/PRIOR - Prior Approval Granted, 30.05.2017
Prior Notification requirement under Part O of the GDPO for the change of use of offices (Class B1a) to Dwellinghouse (Class C3).

18/02748/PRIOR - Prior Approval Granted, 31.01.2019
Request as to whether Prior Approval is required under Part 3, Class O of the Town and Country Planning (General Permitted Development) Order 2015 (as amended) for the conversion of ground to second floors from offices (Use Class A1(a)) to residential (Use Class C3).

18/00624/PRIOR - Prior Approval Granted, 16.05.2018
Request as to whether Prior Approval is required under Part 3, Class O of the Town and Country Planning (General Permitted Development) Order 2015 (as amended) for the conversion of ground to second floors from offices (Use Class A1(a)) to residential (Use Class C3)

19/01766/FUL - Refused, 18.11.2019
Conversion of attic space to create 32 no. apartments (25 x 1 beds and 7 x 2 beds) and associated external alterations including the installation of windows.

RELEVANT PLANNING POLICY

Section 38(6) of the Planning and Compulsory Purchase Act 2004 (as amended) requires applications for planning permission to be determined in accordance with the development plan unless material considerations indicate otherwise.

The relevant Development Plan for the Hart district includes the Hart Local Plan (Strategy & Sites) 2032 (HLP32), the saved policies of the Hart District Local Plan (Replacement) 1996-2006 (HLP06) and the Hook Neighbourhood Plan 2017-2032 (HNP32).

All of these adopted and saved policies within these documents are consistent with the July 2021 version of the National Planning Policy Framework (NPPF). The relevant policies are:

Hart Local Plan (Strategy & Sites) 2032 (HLP32):

Policy SD1 - Sustainable Development
Policy SS1 - Spatial Strategy and Distribution of Growth
Policy ED1 - New Employment
Policy ED2 - Safeguarding Employment Land and Premises (B-Use Classes)
Policy NBE2 - Landscape
Policy NBE4 - Biodiversity
Policy NBE5 - Managing Flood Risk
Policy NBE7 - Sustainable Water Use
Policy NBE9 - Design
Policy NBE11 - Pollution
Policy INF1 - Infrastructure
Policy INF3 - Transport

Hart District Local Plan (Replacement) 1996-2006 'saved' policies (HLP06):

Policy GEN1 - General Policy for Development
Policy CON8 - Trees, Woodland & Hedgerows: Amenity Value
Policy CON23 - Development affecting public rights of way

Hook Neighbourhood Plan 2017-2032 (HNP32):

Policy HK1 - Spatial Policy
Policy HK4 - Protecting and Enhancing the Biodiversity of Hook
Policy HK5 - Landscape
Policy HK8 - Control of Light and Noise Pollution
Policy HK9 - Pedestrian and Cycle Paths
Policy HK10 - Parking
Policy HK12 - Design
Policy HK15 - Employment site in Hook Village

Other relevant planning policy documents:

National Planning Policy Framework 2021 (NPPF)
Planning Practice Guidance (PPG)
National Design Guidance (NDG)
Parking Provision Interim Guidance (2008)
Hart's Strategic Floodrisk Assessment (2016)
Hart's Climate Change Action Plan
Hart's Equality Objectives for 2021 - 2023

CONSULTEES RESPONSES

Hook Parish Council

Objection to revised proposal on the following grounds:

- Introduction of Land Use Class B2 in this amended application should be rejected outright as it was not included in the original application, is a material change and is entirely inappropriate for this location.
- The PC appeal to the District Council to ask for Use Class B8 to be severely restricted in number in any proposals for re-development of any part of this site in order to avoid any severe impacts on the existing community.
- The PC request the imposition of Planning Conditions that impose restrictions on the hours

of operation to between 07.00 and 19.00 hours at this site, including prohibiting any arrivals or departures outside of such hours, again to avoid any severe impacts on the existing community.

- The parking provision on the site needs to be improved for both HGVs, to allow for early arrivals, and other vehicles, to allow for Land Uses Class E, together with parking restrictions imposed on the whole of Bartley Way.
- The PC ask for a planning condition that any HGV traffic generated on this site be prohibited from travelling northbound on the B3349 to avoid severe impacts on both residents and road safety to the north of the site.
- The PC ask for a condition that the applicant provides the two new cycleways that are shown on figure 9.1.1 of the Neighbourhood Plan, which is reproduced as Appendix D in the Transport Sustainability Report, in order to provide for safe cycle access to the site.
- The Parish Council ask for a Condition that prohibits any outside storage.
- The Parish Council would not object to the provision of Land Uses Class E on this site provided that any such proposals include the provision of new safe and commodious walking and cycling facilities to connect the site with the residential areas of the village.

HCC Local Lead Flood Authority

No objection, subject to planning conditions to secure:

- Implementation of drainage system in accordance with Floor Risk Assessment & Drainage Strategy.
- Details of long term maintenance arrangements.

Highways England

No objection.

Landscape Architect (Internal)

No objection in principle subject to conditions to secure:

- Larger number of large species trees, so good for canopy cover.
- Large volume tree pits will be crucial to the success of the tree planting
- All plant species in the soft landscape palette should have at least an eye to climate adaption.

Ecology Consult (Internal)

No objection subject to conditions to secure:

- Implementation of Preliminary Ecological Appraisal.
- Implementation of bat and bird boxes, invertebrate hotels and log piles.
- Restrictions on external lighting times, particularly along with the SSSI.
- Construction Environmental Management Plan.

Tree Officer (Internal)

Concerns raised,

- There is scope to adjust the layout and provide more details to achieve a more harmonious outcome in arboricultural terms.
- Woodland edges currently provide a hugely valuable boundary feature that both softens the built form and provides valuable habitat and ecosystem services.
- Final separation distances along the southern and eastern site boundaries adjacent to

units 3-8 and 9 is unacceptable.

- It is difficult to consider the issue of future pressure from encroachment.
- Tree loss must also be mitigated for elsewhere on the site.
- Choice of replacement tree genus and species needs to reflect climate-change resilience and the bulk of the tree selection should ideally be drawn from native, naturalised and European native trees.
- Trial holes to establish the underlying soil type and suitability for tree planting need to be carried out and the results shared with the council for comment.
- it is not advisable to plant larger canopied trees near buildings or other vertical infrastructure.
- It is also not advisable to plant trees such as field maple; with their associated "honeydew" issues, over parking areas.

Thames Water Property Services

- No objection with regards to Foul Water sewerage network capacity.
- The Local Lead Flooding Authority should be consulted on surface water drainage.
- There are public sewers crossing/close to the development. Applicant is advise to read TW guidance ' working near or diverting our pipes'.
- If approved, add TW informative about ground water risk management.

Hampshire County Council (Highways)

No objection.

Natural England

No objection, subject to conditions to secure:

- A construction environmental management plan

Environmental Health (Internal)

No objection, subject to conditions to secure:

- Overnight external servicing/operational restrictions for unit 9 only.
- Set of specific operational/servicing conditions (x8) for night-time activities in service yards of the other 9 units.
- Construction Management Plan.
- Construction hours restriction.
- External lighting Scheme and post installation light testing details and high- level luminaries maintenance scheme.

Chief Planning Officer (Basingstoke & Deane Borough Council)

No response received.

NEIGHBOUR COMMENTS

Originally, the 21-day public consultation expired on 27.08.2021. As part of this consultation exercise there were 74 representations received in response to the proposal, including 48 letters of support, 17 in objection and 9 general representations. The summary of comments is listed below. The representations include comments from Ward Councillor Selena Coburn, Tesco in Hook and Sainsburys (committed store in Hook) and from Hook Action Against Overdevelopment.

Relevant representations from the 1st consultation exercise are detailed below (comments associated with the food store (Land Use Class A1) have been removed, which mainly comprise all the supporting representations).

Supporting comments (relevant to the current proposal).

- Regeneration of Bartley Wood. Change in working practices means there is very little chance these offices will be re-occupied.
- Opportunities of employment for younger people.

Objecting comments (relevant to industrial uses formerly/currently proposed).

- The distribution centre is the size of two full size football pitches.
- Associated vehicles will increase the level of traffic in Hook and surrounding area. It will increase pollution, noise and traffic at all hours of the day.
- Existing on site uses gave the village very little additional traffic (except at peak times).
- Housing has been built right up to the roundabout where lorries would be constantly negotiating and passing by.
- Office blocks adjacent to new entrance have been converted to housing will be subjected to noise and pollution at unacceptable levels.
- Noise assessment does not consider increase noise (especially HGV traffic) along Griffin Way South and Griffin Way North, nor the bleachers 24 hours a day.
- Lorries travelling along Griffin Way at speed make a lot of pollution, noise and vibration, this is bound to increase if this development goes ahead.
- All units and layout laid out for HGV, which will result in likely on site and other streets congestion.
- We were not told these distribution hubs in the preliminary letters we all received. All it said was an Aldi store was being proposed. How come this has changed/been undeclared.
- We question whether sufficient consideration has been given to other employment uses on the site. Market review submitted focuses on office demand and not on other forms of employment.
- Modelling of traffic on A30/B3349 roundabout in support of the current application would be premature, in light of current Sainsburys discussions with the Highway Authority.
- There is no evidence provided as to why the whole of the site cannot be redeveloped to B2/B8 purposes.
- Council needs to be satisfied there is no demand for other employment uses before considering alternative uses.
- If accepted, every tree, hedge and greenery be retained at existing heights and places as it has taken years to reach some sort of maturity.
- The applicant has not adequately assessed the impacts of the proposed development on Sites of Special Scientific Interest (SSSIs).

General/Neutral Comments (whilst supporting the food store (now removed) in principle, they also raise concerns about the industrial units):

- Concerns that all 9 units end up being B8 use.
- If only B8 uses then site would be a busy, noisy transport hub, problematic with parking and traffic.
- No more than 4 units should be in B8 use and HGV parking, noise and operating hours are restricted.
- There should be limitations on open-air storage and effective separation of pedestrian/vehicles for retail and industrial.
- A mixed use of industrial units is attractive but with closeness to the M3, there are concerns of the site becoming a transport hub.
- No need for new access point off the B3349.
- Vehicles are often given a time slot to be at a warehouse. If they arrive early, they need to park up until their designated time. This could cause problems on the business park.
- HGV's arriving to the area could have a negative impact on the local residents due to noise, arriving at all hours, and parking on Bartley Way whilst waiting for delivery times (HGV's parking overnight on Bartley Way is already an issue).

- Environmental impact to the habitat of the Heath if the area were to have light and noise spill onto it at night.
- If approved, there should be conditions to restrict a number of units in B8 use simultaneously, HGV parking restrictions in the surrounding area, operating hours and noise levels, separation of pedestrians and vehicles from the industrial units.

Since the development proposal was subsequently revised to propose industrial units only (food store was removed and replaced with an industrial unit as explained previously), a further 21-day consultation exercise was undertaken and expired on 10.05.2022. As part of this consultation exercise there were 17 representations received, 15 in objection, 1 general/neutral representation and 1 support. The representations include comments from Hook Action Against Overdevelopment.

Representations from 2nd consultation exercise.

Supporting representation.

- To decline the 'Aldi' build application is a mistake and that a 'change of use' should be made to allow the original plan to proceed.
- I find it difficult that anyone can object to the 'Traffic, Noise, Pollution etc which the latest proposal has invoked, when planning permission has been granted for a 'Sainsbury Supermarket' in the middle of all of the houses and living area in the village.
- I think that the Bartley Wood Business Park should be redeveloped with the best interests of all who live in Hook.
- If designated building use is unsuitable for some planning applications / uses, each application should be treated individually, and the designated use changed where it is beneficial to the village of Hook.

Objecting representations.

- All ten units are capable of receiving heavy goods vehicles.
- Being located near the M3 they would be attractive to transport operators.
- If all were occupied by the same operator it would become a significant transport hub.
- As well as the traffic and noise implications there is a parking issue. Vehicles are often given a time slot to be at a warehouse. If they arrive early, they need to park up until their designated time. This could cause problems on the business park.
- Residents at the nearby apartment development "Providence House" would likely be impacted by those traffic movements and parking issues and exposed to noise impact during early morning and late at night and even through the night.
- If approved HDC should impose conditions covering the following: maintain the proposed mixed nature of uses of the industrial units where no more than 4 shall simultaneously be used for B8 use, HGV Parking restrictions in the surrounding area, Control over operating hours, Control over noise levels, Limitations on amount of open-air storage.
- Too many industrial units, only reason we did not object against the original planning was the inclusion of Aldi.
- Restrictions on the level of HGV use are required.
- The proposed new junction is opposite an existing access off the B3349 into Bartley Way (West) which would make the B3349 much more dangerous for all road users at this point.
- The proposed Use Class B8 incorporates a wide variety of operations and commercial vehicle movements that would not be appropriate in proximity to the existing, and proposed, residential properties that surround this site.
- Without any restrictions HGVs are likely to use Bartley Way for rest stops/holding areas in the absence of any official rest stops/HGV parking areas in the locality.

- Imposition of sensible restrictions to B8 use to ensure the site becomes a good neighbour and not a source of excess noise, congestion and annoyance.
- Redevelopment will cause many issues in regard to traffic congestion, increased noise levels, impact on the nearby nature parks and the full thoroughfare within the village.
- Increase of larger HGVs entering the village or parking in an attempt to enter the area will damage the environment for residents of these new residential settings and do much damage to the village overall.
- This proposal is not in keeping with the change in demographic taking place in Hook.
- Little point in developing further units when there is little guarantee, based on existing evidence, that new lessees are out there.
- This land would be better used for the benefit of residents. A bowling alley, restaurants and pubs and a park linking with that public space behind the site.
- It will bring little benefit to our community but could inflict many negative effects unless some very specific conditions are imposed on the application.
- The speed limit along Griffin Way South is often disregarded and will only be made more hazardous with additional lorries/traffic.
- Serious consideration needs to be given to the operating hours (the current proposals are far too long when you live in the neighbouring properties and will be kept awake by the noise).
- I share the concern of others regarding increased logistics traffic and the various environmental concerns that accompany that.
- There are residential properties (flats) close to this site and the traffic noise and parking implications would undoubtedly become an issue.
- Hook is already plagued by the results of terrible planning decisions - I refer to the overwhelming number of large apartment blocks in the village.
- Now it seems that a previously reasonably attractive business park is about to be turned into a giant warehouse site.
- The Council are hoping to improve the centre of Hook, which is very much needed, but how can it be that at the same time they are happy for another part of the village to be turned into an intrusive, unsociable and unwanted logistical hub?
- The environment consultant mentions activity on the site until 23.00 hours which is totally unacceptable due to the position of residential properties nearby and along the B3349.

General/Neutral Comments (whilst supporting the development, it raises concerns about connectivity):

- I generally support the development proposal, there is an area where the development should be doing much more than it currently is.
- Better pedestrian crossing facilities on Griffin Way South.
- Other pedestrian/cycle enhancements and not those currently proposed which would be of limited benefit.
- Generally, more pedestrian/cycle enhancements, especially when it comes to crossing of the busy roads near the site and linking to existing infrastructure.

CONSIDERATIONS

PRINCIPLE OF DEVELOPMENT

The relevant HLP32 policy that is applicable to accept the principle of employment proposals in the district is adopted policy ED1.

Adopted Policy ED1 supports Employment proposals (within Land Use Class B) in the following instances:

- a) within Strategic or Locally Important Employment Sites defined on the Policies Map; or
- b) on a suitable site within a settlement policy boundary;
- c) on suitable previously developed land appropriate for the proposed use; or
- d) within the countryside provided they comply with Policies NBE1 and ED3 or otherwise demonstrate a need for development at that location and the proposal complies with other plan policies.

The subject site is within a settlement boundary and is designated as a Locally Important Employment Site (LIES) within adopted policy ED2 of the HLP32.

The proposed development would be providing industrial units with a flexibility of employment uses ranging from general industrial, storage & distribution, and business/ services. The proposed development, therefore, would be fully compatible with the designation of the land as a Locally Important Employment Site, as per adopted policy ED1.

In terms of adopted policy ED2 of the HLP32, this policy clearly confers the designation of the subject site as LIES and clearly sets out a presumption against re-development of LIES if it involves loss of employment uses.

The current proposal would not result in loss of employment uses as such, but a minor loss in floorspace. The proposal involves the loss of 17, 296.5 sqm of office space, suffering from long-term vacancy and the re-provision of flexible employment uses with a total floorspace provision of 14,122 sqm.

It is worth mentioning that policy ED2 is not concerned with amounts of floorspace but with land uses and therefore the re-provision of flexible employment uses as proposed does not conflict with adopted policy ED2 in any respect, even when considering the modest reduction of floorspace set out above.

Policy HK15 of the HNP32 states that development proposals involving the loss of employment floorspace should demonstrate the uses are no longer viable and that there should be an active 12-month marketing of the premises (at least). On the other hand, this same policy supports the regeneration/intensification of employment sites, subject to such proposals not being detrimental to amenity of surrounding occupiers.

The site formerly accommodated a business park providing exclusively office accommodation. The submitted marketing report provides satisfactory evidence about the vacancy dates of the buildings and marketing efforts to re-let them, which were unsuccessful pre/post COVID.

The redevelopment proposal for employment uses of different nature to the ones formerly provided on site would comply with the overarching objective of maintaining a supply of employment land and premises which is crucial to enhance the economic competitiveness of the district and deliver sustainable economic growth. As such the principle of development is compliant with policies ED1 and ED2 of the HLP32, policy HK15 of the HNP32 and the economic aims of the NPPF 2021.

DESIGN AND APPEARANCE

Policy NBE9 of the HLP32 and saved policy GEN1 of the HLP06 seek to ensure that development achieves a high-quality design and that it would positively contribute to the overall character of the area. The NPPF 2021 (para. 130) also reinforces the need to promote good design in developments and states that decisions should ensure that developments will:

- Function well and add to the overall quality of the area not just for the short term but

over the lifetime of the development;

- are visually attractive as a result of good architecture, layout and appropriate and effective landscaping; and
- are sympathetic to local character ..., including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities).

Policy 11 of the HNP32, requires development proposal to consider design principles and Policy 12 states that development should make a positive contribution to Hook's character. It requires the use of good quality materials, building styles and features in keeping with Hook, suitable boundary treatments, high quality routes for people/wildlife to connect green infrastructure, variety in type/size of buildings, good quality, well designed outdoor green space (private /shared) providing native tree cover and improved biodiversity, discrete siting of ancillary features (bin stores, recycling storage, cycle stores, meter boxes, flues and ventilation ducts).

The layout proposed focuses on the main provision of buildings close to the eastern/southern perimeter of the site with one unit being proposed more centrally positioned on the site. The vehicular circulation/manoeuvring space provided in the form of an internal road is therefore proposed along a central strip of land within the site. The layout and internal road proposed would result in an additional vehicular entrance/exit (intersection) off Griffin Way. The siting/orientation of the buildings, along with vehicular space and landscaping areas would be satisfactorily distributed across the site.

The scale of the buildings proposed would not be dissimilar to the scale of buildings in the locality, which mainly consist of employment uses, large scale office or industrial buildings at 3 or four storeys.

The proposed industrial units would comprise a development that is contemporary in its design and character as they would have a main core in their elevations with large areas of glazing to mark the main portion of the elevations where the entrance to the units are located and to provide a break to the metal cladding that would be used in the solid areas of the buildings. It should be noted that there would be metal cladding variations across the different elevations of the buildings which along with facing brickwork, glazing areas and a curved roof profile, would all result in a high-quality appearance of industrial character that would satisfactorily blend with the locality and other commercial/employment buildings in the locality.

As such, the proposal would be in accordance with Policy NBE9 of the HLP32, saved Policy GEN1 of the HLP06, Policies 11 and 12 of the HNP32 and the aims of the NPPF 2021 in terms of design, character and appearance of the development and contribution to the locality.

NEIGHBOURING AMENITY

Policy NBE11 of the HLP32 supports development which does not give rise to, or would not be subject to, unacceptable levels of pollution. Saved policy GEN1 of the HLP06 supports development that, amongst other requirements, causes no material loss of amenity to adjacent properties.

Policy HK15 of the HNP32 supports regeneration and intensification of employment sites where these would not detrimentally impact on the amenity of adjoining occupiers.

Paragraph 130 of the NPPF 2021 advises that planning decisions should ensure that developments achieve a high standard of amenity for existing and future users and also do not undermine quality of life for communities.

There are residential developments in proximity to the site. The closest are two storey single dwellings/farmhouses close to the northeast corner of the site, on the opposite side of Holt Lane. Also, to the west of the Griffin Way South almost opposite to the proposed entrance to the site, there is a four-storey building set back from Griffin Way South that is in residential use, Providence House (formerly an office building). Other residential developments in proximity to the site are those found north of the railway tracks.

Public representations received and summarised above, mainly raise concerns about the noise created by comings/goings of heavy vehicles along Griffin Way associated with the proposal, movements of heavy vehicles within courtyards, and potential parking of heavy vehicles on neighbouring roads awaiting their scheduled slot to load/unload. Those concerns were raised particularly given the request of the applicant for flexibility to operate 24h a day.

The noise assessment submitted considered external noise to residential receptors, external noise to non-residential receptors, increase in road traffic noise, and noise to proposed commercial uses.

Noise surveys were carried out in a day in March 2021 between 1130 hrs and 1200 hrs to determine the extent to which the site and its environs are currently affected by noise from road traffic.

The noise modelling undertaken, provides noise predictions at nearest residential and non-residential noise sensitive receptors from fixed plant, predicted deliveries noise levels, breakout noises and public address systems. However, there were objections raised from Environmental Health Officer (EHO) about night-time operations (2300hrs - 0700hrs) and noise that could arise as a result of refrigeration units on lorries during deliveries, their engines, loading and unloading of HGVs, reversing alarms, forklift movements, etc. Therefore, there was a request to submit an overarching operational noise management plan (ONMP).

The ONMP submitted lists the background noise levels during the evening times with reference to Providence House (immediately west of the site), Hartley House (immediately to the north, not yet in residential use but benefiting from a PRIOR approval for conversion) and Holt Farm Cottage (immediately to the northeast of the site). These would be the worst affected Noise Sensitive Receptors as a result of the proposed development. The document sets out the mechanisms by which noise generated on the site would be controlled during the night-time.

The ONMP notes the proposed units' siting/layout and resulting location of service yards would play a role in reducing the noise impacts of the development, as the proposed buildings, in many instances, would serve as a shield to neighbouring noise sensitive residential receptors.

Additionally, the ONMP makes the commitment of strictly managing overnight operations (2300hrs -0700 hrs) by loading/unloading on designated bays only, transferring goods from loading bays directly into the buildings, undertaking a switch-off engine policy during loading/unloading or waiting, switch off policy on vehicle-mounted refrigeration units during loading/unloading or waiting, use of smart broadband noise reversing alarms, prohibiting external use of fork lift trucks and any other machinery relating to the loading and unloading of goods, roller shutters to be kept closed when not in use; reminding personnel to keep noise to an absolute minimum, HGV's to adhere to a 10mph speed limit throughout the site and no use of public address systems outside the approved buildings overnight.

The EHO assessed all the additional information submitted and is satisfied that, subject to planning conditions, impacts to sensitive residential properties adjacent/in close proximity to the site would not result in undue harm as a result of noise arising from the operations,

equipment and vehicles coming to/ departing from the site.

One of those planning conditions recommended and considered reasonable by planning officers is the restriction of external activities for industrial unit no.9, which is the one closest to Providence House. However, the EHO acknowledges that there can be additional measures considered, once operations in the units are known, to reduce noise level from external activities of this unit.

It is noted that the EHO questions the enforceability of the submitted ONMP because at this time the ultimate occupiers of the unit are not known, which is irrelevant in planning terms. The reason being that planning permissions, when granted, run with the land and not the occupiers of the development or the owners of the land on a personal/company capacity. The ONMP contains specific and clear mitigation measures that would be enforceable.

Moreover, during the daytime the noise prediction information accompanying the application determines that there would be a low impact on surrounding residential receptors. The EHO has never raised concerns about noise levels during the daytime and as such no concerns are raised.

The EHO also makes reference to the complaint procedure summarised on the ONMP, which in summary states that if the any complaint is not handled appropriately by the company creating the issue, any aggrieved person would have to approach the Council to report the matter, which is what currently happens with noise complaints in any event.

Furthermore, the representations received in objection also raise strong concerns to the proposal due to the fact that surrounding residents have experienced impacts from lorries that come off the M3 and park overnight on surrounding highways, as surrounding residents are concerned that the proposal could potentially aggravate such a situation and suggest that planning conditions to prevent overnight parking in public highway should be imposed if this application is supported. However, regardless of whether this application is supported by the Council or not, no such planning condition could be imposed as it would not comply with NPPF tests on conditions.

In terms of impacts on outlook, daylight/sunlight, privacy, overbearingness/enclosure, no impacts are anticipated to any building adjacent/in close proximity to any of the industrial units proposed. The reason being distances, siting/orientation and resulting relationship and mature landscaping along the southern and eastern boundary of the site.

Overall, therefore, subject to appropriate planning conditions, no material conflict would arise with adopted policy NBE11 of the HLP32, saved policy GEN1 of the HLP06, paragraph 130 of the NPPF 2021 and the aims of the HNP32 in this regard.

BIODIVERSITY/ TREES AND LANDSCAPING

With regards to biodiversity, Policy NBE4 of the HLP32 states that: 'In order to conserve and enhance biodiversity, new development will be permitted provided:

- a) It will not have an adverse effect on the integrity of an international, national or locally designated sites.
- b) It does not result in the loss or deterioration of irreplaceable habitats, including ancient woodland and the loss of aged or veteran trees found outside ancient woodland, unless the need for, and benefits of, the development in that location clearly outweigh the loss;

c) opportunities to protect and enhance biodiversity and contribute to wildlife and habitat connectivity are taken where possible, including the preservation, restoration and re-creation of priority habitats, ecological networks and the protection and recovery of priority species populations. All development proposals will be expected to avoid negative impacts on existing biodiversity and provide a net gain where possible'.

Policy HK4 of the HNP32 states that 'Development in the village should take into account the importance of existing gardens, open space and features that provide for ecological connectivity, such as hedgerows.'

The NPPF 2021 also states that planning policies and decisions should contribute to and enhance the natural and local environment (para 174).

The Council's Biodiversity Officer has raised no objection to the proposal, subject to the implementation of the biodiversity/ecological recommendations proposed in the Preliminary Ecological Appraisal report submitted, these being a rich landscape strategy, incorporation of bird and bat boxes, invertebrate hotels and log piles. The Council's Biodiversity Officer also recommends keeping external lighting to a minimum, particularly along the southern and eastern wooded boundaries of the site to minimise light pollution on the SSSI Hook Common and Bartley Heath and the submission of a Construction Environmental Management Plan, if this application is ultimately supported by the Council.

It is worth noting that the EHO has also requested further details of external lighting and as such measures to minimise light pollution to the SSSI can be embedded into the details that are ultimately requested, if the Council is minded to approve this application.

Furthermore, with regards to Natural England's (NE) involvement with this application, they initially raised an objection to the proposal as a result of potential air quality impacts on designated sites within 10km of the site, forming part of the Thames Basin Heaths Special Protection Area and other SSSI sites within 5km of the site, as the Air Quality Assessment accompanying the application was not robust enough.

After the receipt of additional/revised Air Pollution information from the applicant and consulting NE on it, they have withdrawn their objection and have recommended planning conditions to ensure impacts are minimised. The condition suggested, relates to the submission of a construction environmental management plan, which was also requested by the Council's Biodiversity Officer. As such, subject to appropriate planning conditions, the proposed development would be in compliance with adopted policy NBE4 of the HLP32, saved policy GEN1 of the HLP06, policy HK4 of the HNP32 and the aims of the NPPF 2021 in this regard.

With regards to trees, saved policy CON8 states that where development is proposed which would affect trees, woodlands or hedgerows of significant landscape or amenity value planning permission will only be granted if these features are shown to be capable of being retained in the longer term or if removal is necessary that new planting is undertaken to maintain the value of these features.

As informed at the beginning of this report, there are groups of trees within/adjoining the site that are the subject of TPO's. They are located along the eastern boundary of the site and there is a TPO belt crossing the site in a north-south direction close to the western end.

The redevelopment of the site would result in the removal of 57 individual trees and 9 groups of landscaping features (e.g., either trees, bushes, hedgerows, understorey planting). Out of these, there would be 17 individual trees and one landscape group that are category B Trees (moderate quality) and 3 trees that are category A trees (good quality).

The Council's Landscape Architect and Tree Officer raised concerns about the tree removal. It should be noted that only two trees proposed for removal are subject to a TPO and fall within the protected tree belt crossing the site, the remaining are all trees planted as part of the original office development for the site which do not benefit from any protection and could be removed at any time. The trees are mainly located along the western perimeter of the site and within the green pockets provided in the existing car parking areas of the site serving the former office development.

Since the layout, number and siting of buildings in the site inevitably varies from the existing, the removal proposed is necessary to accommodate the layout proposed.

Saved policy CON8 above, allows for tree removals if new tree planting is undertaken to maintain the landscape qualities of site/locality. The proposal is accompanied by a landscape proposal and in this regard, there were also a couple of specific concerns raised by the Council's Landscape Architect. These are namely, lack of tree pit details, inclusion of one tree species that is not drought tolerant and potential tree management complications along the eastern boundary, behind the proposed units.

As such, the landscaping proposal was revised by the applicant in light of initial comments and there was greater emphasis to provide landscaping (including tree planting) through the centre of the site, along the internal road and pedestrian routes. The revised landscape proposal would comprise the re-planting of 126 trees, which would reinforce the western perimeter of the site and would also be distributed in green pockets that are proposed in the edges of and in between car parking spaces. Therefore, the landscape qualities of the site and the locality would not be negatively impacted in the long term. As such, subject to securing tree pit details and a detailed landscape management and maintenance plan via planning conditions, if this application is supported, the tree removal/retention and the landscape proposals would not conflict with adopted policies NBE2 and NBE9 of the HLP32, saved policies GEN1 and CON8 of the HLP06 and the aims of the HNP32 and the NPPF 2021 in this regard.

ACCESS, PARKING AND HIGHWAY SAFETY

Policy INF3 of the HLP32 states that development should promote the use of sustainable transport modes prioritising walking and cycling, improve accessibility to services and support the transition to a low carbon future. Saved policy GEN1 of the HLP06 supports developments that do not give rise to traffic flows on the surrounding road network which would cause material detriment to the amenities of nearby properties and settlements or to highway safety.

Policy HK9 (Pedestrian and Cycle Paths) of the HNP32 states that the enhancement and creation of new footpaths and linked routes will be supported. Also, policy HK10 (Parking) requires that parking is well integrated to prevent it from dominating the public realm.

The NPPF advises that sustainable development is at the heart of the planning system and in this regard, locational considerations are key to achieving it.

NPPF paragraph 110 requires that the assessment of specific applications for development should ensure that:

- appropriate opportunities to promote sustainable transport modes can be - or have been
- taken up, given the type of development and its location;
- safe and suitable access to the site can be achieved for all users; and
- any significant impacts from the development on the transport network (in terms of capacity and congestion), or on highway safety, can be cost effectively mitigated to an

acceptable degree.

Paragraph 111 of the NPPF advises that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

Paragraph 112 of the NPPF requires development to give priority first to pedestrian and cycle movements, both within the scheme and within neighbouring areas; and second - so far as possible - to facilitating access to high quality public transport.

In terms of access, the site is within the settlement and there are already established pedestrian/cycling routes from the site to Hook railway station, the town centre and surrounding residential areas and towns/villages nearby. Also, the site is a 15/17-minute walk from Hook Railway Station and Hook Town Centre and the nearest bus stop is a 10-minute walk from the site. However, it has to be acknowledged that beyond the settlement boundary, the infrastructure for pedestrians and cyclists is largely non-existent.

The development would be providing a new vehicular/pedestrian access into the site from Griffin Way South, as a result the proposal would also be undertaking improvements to the highway to accommodate the access proposed. This includes the provision of crossing points towards the southwestern portion of the site. The layout of the development would also provide pedestrian areas in front of the access to each of the units and pavements flanking the internal road so as to connect the proposed units with the public pavements adjacent to the site.

In terms to the additional access proposed and the internal road, the Local Highway Authority (LHA) has not raised any objection in principle. They considered the visibility splays proposed along with swept path analysis provided and circulation within the site were adequate. Nevertheless, they initially requested that the proposed junction formed by the new access along Griffin Way South was subject to further modelling assessments and a Road Safety Audit undertaken for the access. The applicant provided the additional requested information which was satisfactory to the LHA.

Furthermore, the LHA also confirmed that their Engineering Team have not raised any concerns with the proposed road and intersection arrangement and that detailed drawings and reviews can take place in the detailed design stage within a Section 278 agreement under the Highways Act. The LHA, therefore, raised no objections in terms of access/accessibility to the site.

With regards to car parking provision, 2/3 of the site falls within 800m of Hook Railway Station with only a strip of the site to the eastern end falling outside the above distance. Therefore, it is reasonable to consider interim parking standards for Zone 1 (within 800m from the train station).

Table 1. - Council's Interim parking ratios.

Land Use	Zone 1 Car parking	Cycle parking
Former B1(a) – Office, currently E (g)(i)	1 space:45sqm	1 space:150 sqm
Former B1(b) or B1(c) – Research and Development or Light Industry currently E(g)(ii & iii)	1 space:60sqm	

B2 – General Industry		1 space:350 sqm
B8 – Warehousing	1 space:90sqm	1 space:500 sqm

To understand and compare how the above maximum car parking/floorspace ratios would translate into car parking spaces if the 14,122sqm of proposed floorspace were to be used in their entirety for each of the land uses contained in the table, the maximum car parking provision for each of the land uses would be as follows:

Table 2. – Council's interim parking ratios into car/cycle parking spaces

Land Use	Zone 1- Car parking	Cycle parking
Former B1(a) – Office, currently E (g)(i)	314 spaces	94 spaces
Former B1(b) or B1(c) – Research and Development or Light Industry currently E(g)(ii & iii)	235 spaces	
B2 – General Industry		41 spaces
B8 – Warehousing	156 spaces	28 spaces

It should be noted, however that the development proposed is seeking planning permission for flexible floorspace (14,122 sqm of floorspace for Flexible Use Class B2/B8/E(g)(i)-(iii)) without assigning, at this stage, which specific business/industrial uses would be operated in each of units. As such the car parking provision depicted above cannot be required from the development, however it provides an understanding of the level of on-site car/cycle provision that would be necessary for an industrial development of such size to be self- sufficient in this regard.

The development proposal would make provision of a total of 234 car parking spaces, of which 17 are to be to disabled standards and there are 12 parking spaces that would have a dual use (e.g., HGV parking /car parking). The proposal would also provide 94 cycle parking spaces (secured via 10 shelters adjacent to the industrial units proposed).

As it can be seen above the development for the flexible uses proposed when compared to the maximum car parking requirements depicted in Table 2 above, would provide a satisfactory amount of on-site car/cycle parking provision to sustain the uses proposed. Moreover, the car/cycle spaces would be suitably integrated into the proposal and have a suitable layout/arrangement/distribution within the site. Therefore, no objection is raised in terms of the level of parking provision proposed as it would not result in conflict with the objectives of policy INF3 of the HLP32, saved policy GEN1 of the HLP06 or policy HK10 of the HNP32.

Finally, highway safety is a material consideration and the LHA analysed traffic generation arising from the development (considering the trip rate that can be generated by the Office development formerly operating on the site). As a result, the LHA requested capacity modelling not only for the proposed access on the site but also for the roundabout at the A30/B3349 (north of the site). The LHA is satisfied that the current proposal (industrial units only) would result in a reduction of trips previously accepted (with retail use as part of the proposal) but note that the current industrial units would lead to an increase in HGV trips, however they

found the traffic generation acceptable and did not object to this or the junction capacity assessments submitted by the applicant.

It should be noted that Highways England was a formal consultee on this application, their interest was any potential impacts arising from the proposal on Junction 5 of the M3 and the M3 itself. They initially requested baseline traffic surveys and modelling, considering committed developments and future years traffic flows information to test junction capacity. The information was provided by the applicant and Highways England raised no objection to the proposal (this includes the current development without retail uses).

Therefore, the proposed development would meet the objectives of policy INF3 of the HLP32, saved policy GEN1 of the HLP06, policies HK9 and HK10 of the HKN32, and paragraphs 110, 111 and 112 of the NPPF 2021.

FLOODING/ DRAINAGE

Policy NBE5 (Managing Flood Risk) of the HLP32 sets out five criteria when development would be permitted, in this case the applicable criteria are:

- Over its lifetime it would not increase the risk of flooding elsewhere and will be safe from flooding;
- If located within an area at risk from any source of flooding, now and in the future, it is supported by a site-specific flood risk assessment and complies fully with national policy including the sequential and exceptions tests where necessary;

The application site features hardstanding almost in its entirety (with the exception of green pockets in car parking areas and along the perimeter). The proposed development would not be any different in this respect.

Flood risk and surface water management information was submitted with the planning application and was consulted with Thames Water and the Lead Local Flood Authority (LLFA).

Thames Water advised that they did not have any objection to the proposal in terms of Foul Water Infrastructure. In terms of surface water, they indicated that approval should be sought from the LLFA.

The LLFA considered the information submitted and are satisfied that the surface water management and risk of local flooding would be dealt with appropriately as proposed (permeable paving, cellular storage tanks and discharge into 4 different connections to the surface water public sewer network). The LLFA recommended conditions be imposed if the application is supported by the Council to secure implementation of the flood risk/surface water management strategy and requested details of the long-term maintenance arrangement for the strategy.

As such the application is acceptable in terms of flood risk and drainage in line with policy NBE5 of the HLP32 and the aims of the NPPF 2021 in this regard.

CLIMATE CHANGE & SUSTAINABILITY

On 29th April 2021 Hart District Council agreed a motion which declared a Climate Emergency in Hart District.

Policy NBE9 of the HLP32 requires at criteria (i) and (j) for proposals to demonstrate that they would:

- reduce energy consumption through sustainable approaches to building design and layout, such as through the use of low-impact materials and high energy efficiency; and
- they incorporate renewable or low carbon energy technologies, where appropriate.

The development would not raise concerns in terms of building design, as the units have been appropriately designed. It has been confirmed through the submitted documents that the development would comply with criterion 1-3 of part L2A of the Building Regulations (2013) and the development seeks to achieve BREEAM 'Very Good' and EPC 'A' ratings for energy efficiency through its construction and materials used.

In terms of renewable or low carbon energy, the submitted Energy Statement has undertaken a feasibility assessment of green technologies for the proposal. It is stated that the technologies that have been incorporated in the proposal are roof mounted Photovoltaic (PV) arrays to the industrial units and Air Source Heating/Cooling Pumps (ASHP) to the office areas within the industrial units.

The industrial units would have areas of PV arrays covering between 5-22 sqm of the roof area (it varies across the units), however the proposed amount of PV arrays, according to the energy report, could achieve as a whole carbon savings of 9,610.36 KgCO₂/year. Furthermore, with regards to the proposed ASHP the carbon savings across the 10 industrial units could achieve savings of 5,463 KgCO₂/year.

There would also be provision of 10 active and 10 passive electric vehicle charging points distributed in the car parking areas proposed.

As such, subject to securing the implementation and installation details of such technologies through planning conditions, the proposal would comply with adopted policy NBE9 of the HLP32, and the sustainability aims of the NPPF 2021.

EQUALITY

In terms of Equality, The Equality Act 2010 legally protects people from discrimination in society. It replaced previous anti-discrimination laws (Sex Discrimination Act 1975; Race Relations Act 1976 and Disability Discrimination Act 1995) with one single Act. The public sector Equality Duty came into force on 05.04.2011 In Section 149 of the Equality Act. It means that public bodies have to consider all individuals when carrying out their day-to-day work in shaping policy and delivering services.

Due regard is given to the aims of the general Equality Duty when considering applications and reaching planning decisions in particular the aims of eliminating unlawful discrimination, advancing equality of opportunity and fostering good relations between those who share a protected characteristic and those who do not share it. This application would not raise any issue in this regard.

OTHER MATTERS

In terms of the public representations received in connection with the proposals, they have requested the Local Planning Authority to reject the use of the proposed units for general industrial uses (Land Use Class B2). Also, requests have been made to restrict the number of units that can be used for storage and distribution (Land Use Class B8).

However, the application site was designated on the HLP32 for Uses falling in the 'B' land use class (some of them now falling in land use class 'E'), in the knowledge of the residential uses

to the north of the railway line and also approval of conversions of office buildings in the immediate surroundings of the site since 2016. Therefore, given the designation of the site, it would be unreasonable to impose such restrictions on land uses on the site or to specific industrial units.

Other requests from public representations involve, hours of operation, which have been discussed earlier in this report. The Environmental Health Officer has requested a set of planning conditions in this regard, however only unit 9 would be required to be subject to restricted hours of operation given its proximity to the neighbouring residential building of Providence House.

Public requests to restrict parking along the whole of the Bartley Way or to prohibit HGV traffic to go north along the B3344 are beyond the scope of the planning powers conferred to the Local Planning Authority through Planning Legislation. Any parking restriction that surrounding residents would like to be imposed in specific public highways is a matter that has to be pursued directly with the Local Highway Authority under separate legislative and procedural frameworks.

Finally with regards to planning obligations, Policy INF1 of the HLP32 states that 'Where required to make otherwise unacceptable, development acceptable, development proposals must make appropriate provision for infrastructure, on and off-site, and/or through financial contributions to offsite provision.

However, none of the technical consultees have identified impacts arising from the proposal where improvement to local infrastructure is warranted and required to make the development acceptable in planning terms.

It is noted the Hook Parish Council has requested the development provides two cycle ways, which are identified in table 9.1.1 of the HNP32 and run along Bartley Way. However, this request has to be considered in the context that the site had a lawful operation for office use (of 17, 296.5 sqm floorspace) which as a result of its nature when in full use would have posed a significantly larger impact on cycling/pedestrian infrastructure, when compared to the nature, character and size of the current proposal (14,122 sqm floorspace), despite that the proposed buildings could also be used for office uses. Also, it is noted that the LHA has not identified pedestrian/cycling infrastructure impacts such as to warrant a planning obligation from the proposal.

PLANNING BALANCE

Section 70(2) of the Town and Country Planning Act 1990 ("TCPA 1990") provides that the decision-maker shall have regard to the provisions of the development plan, so far as material to the application. Section 38(6) of the Planning and Compulsory Purchase Act 2004 (as amended) requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

The Hart Local Plan (Strategy & Sites) 2032 is a recently adopted and up to date development plan document. In determining an application, the decision maker must also have due regard to the NPPF.

In terms of social benefits, the proposal would result in the creation of a variety of employment opportunities and potential for skills improvements during and post construction, not only for residents of Hook but the district as a whole. This is regarded as being a substantial benefit considering this employment site has been inactive for several years. No social harm is identified as part of this development proposal.

The environmental benefits arising from the scheme, relate to the regeneration of a brownfield site with a high-quality development that would contribute positively to the character and appearance of the locality and the fabric of the settlement. It is noted that minor environmental harm would arise as a result of the demolition of sound buildings and changes required to the current soft landscaping conditions of the site. However, this harm would be, in the long term, mitigated with the contribution of the proposal to reduce climate change from the sustainability measures incorporated in the proposal and the landscape strategy that is proposed, as such the minor harm would be reversed.

The economic benefits arising from the proposal relate to the positive impacts the development would have to the local economy as a result of the financial expenditure during the construction of the development and indirect effects through limited expenditure of wages of construction workers in the wider area. Also, there would be economic benefits to the regional and or national economy as a result of new companies, relocation or expansion of any existing company operating from outside/within the district that wishes to operate from the industrial units proposed. No economic harm would be anticipated as a result of the proposal.

The proposal is a welcomed regeneration of the site that would positively impact the three strands of sustainable development, as discussed above. NPPF 2021 paragraph 15 states that 'The planning system should be genuinely plan-led, and the proposal would comply with the objectives of the relevant policies of the adopted HLP32. The benefits identified would outweigh the limited harm arising from this development proposal, as previously discussed.

CONCLUSION

The application has been assessed against the development plan and all relevant material considerations. The proposal would accord with the spatial strategy and the employment designation of the site in the HLP32. The development, subject to planning conditions, would integrate satisfactorily to the locality and would not impact negatively on adjacent/ nearby neighbouring occupiers, local highways, the adjoining SSSI or on flooding/drainage conditions in the locality. There has been a minor harm identified but the substantial benefits arising from this proposal would far outweigh it, as detailed above.

As such this application is recommended for approval subject to conditions.

RECOMMENDATION - Grant

CONDITIONS

- 1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON:

To comply with Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be fully implemented in accordance with the following plans/documents (including any mitigation/recommendation/enhancement contained therein):

Plan:

108 (Planning Substitution Plan), 109 (Proposed Site Plan), 110 Rev. C (Proposed Floorplans Unit 1), 111 Rev. C (Proposed Floorplans Unit 2-4), 112 Rev. C (Proposed

Floor Plans Units 5-8), 113 Rev. C (Proposed Floor Plans Unit 9), 115 (2 Proposed Floor Plans Unit 10), 120 Rev. B (Proposed Elevations Unit 1), 121 Rev. B (Proposed Elevations Unit 2-4), 122 Rev. B (Proposed Elevations Unit 5-8), 123 Rev. B (Proposed Elevations Unit 9), 125 (Proposed Elevations Unit 10), 130 Rev. B (Proposed Roof Plan Units 1, 2-4), 131 Rev. B (Proposed Roof Plans Units 5-8, 9), 133 (Proposed Roof Plans Units 10), 140 Rev. E (Landscape GA Sheet 1 of 5), 141 Rev. E (Landscape GA Sheet 2 of 5), 142 Rev. C (Landscape GA Sheet 3 of 5), 143 Rev. C (Landscape GA Sheet 4 of 5), 144 Rev. D (Landscape GA Sheet 5 of 5), 145 Rev. B (Tree Canopy Cover), 146 Rev. B (Amenity Area), 150 Rev. A (Proposed Site Sections Sheet 1 of 2), 151 Rev. A (Proposed Site Sections Sheet 2 of 2).

Documents:

Planning Statement produced by Barton Willmore/Stantec (October 2021)
Covering Letter/Planning Justification produced by Barton Willmore/Stantec (October 2021)
Covering Letter/Planning Justification produced by Barton Willmore/Stantec (March 2022)
Covering Letter/Planning Justification produced by Barton Willmore/Stantec (April 2022)
Design and Access Statement produced by PRC (June 2021)
Design and Access Statement Addendum produced by PRC (April 2022)
BREEAM Pre-Assessment Industrial Shell and Core AES Sustainability (May 2021)
BREEAM Pre-Assessment Addendum produced by AES Sustainability (April 2022)
Energy Strategy produced by Shepherd Brombley (April 2022)
Land Quality Assessment produced by Baynham Meikle (June 2021)
Desk Study Report produced by Applied Geology (June 2021)
Site Investigation Summary produced by Baynham Meikle (October 2021)
Ground Investigation produced by Applied Geology (October 2021)
Air Quality Assessment produced by ACCON UK (June 2021)
Air Quality Technical Note produced by ACCON UK (September 2021)
Air Quality Technical Note produced by ACCON UK (March 2021)
Air Quality Technical Note produced by ACCON UK (April 2021)
Noise Impact Assessment produced by ACCON UK (June 2021)
Noise Technical Note produced by ACCON UK (April 2021)
Operational Noise Management Plan produced by ACCON UK (April 2021)
Flood Risk Assessment and Drainage Strategy produced by Baynham Meikle (June 2021)
Drainage Technical Note produced by Baynham Meikle (April 2022)
Preliminary Ecological Appraisal produced by Phlorum (May 2021)
Landscape and Trees Planning Response produced by PRC (October 2021)
Arboricultural Impact Assessment produced by SJ Stephens Associates (March 2022)
Transport Assessment produced by Motion (June 2021)
Transport Addendum for Hampshire County Council produced by Motion (September 2021)
Transport Addendum for National Highways produced by Motion (September 2021)
Transport Addendum produced by Motion (March 2022)
Transport Sustainability Report produced by Motion (September 2021)
Travel Plan produced by Motion (March 2022)
External Lighting Proposals produced by Shepherd Brombley (April 2022)

REASON:

To ensure that the development is carried out in accordance with the approved details and in the interest of proper planning.

- 3 No development shall commence on site until details of a construction management plan are submitted to and approved in writing by the Local Planning Authority and shall include but not limited to the following:
- i) Construction worker and visitor parking;
 - ii) Anticipated number, frequency and size of construction vehicles;
 - iii) Dust and Noise/Vibration mitigation measures;
 - iv) Dust suppression measures;
 - v) Site security;
 - vi) Vehicle manoeuvring/ turning and measures to avoid conflicts along the site access track with vehicles not associated with the construction of the development;
 - vii) Locations for the loading/unloading and storage of plant, building materials and construction debris and contractors offices;
 - viii) Procedures for on-site contractors to deal with complaints from local residents;
 - ix) Measures to mitigate impacts on neighbouring highways; and
 - x) Details of wheel water spraying facilities;
 - xi) Protection of pedestrian routes during construction;

Once approved, the details shall be fully implemented and retained for the duration of the works.

REASON:

To protect the amenity of neighbouring residents and to ensure adequate highway and site safety in accordance with Policies NBE11 and INF3 of the Hart Local Plan (Strategy and Sites) 2032, saved policies GEN1 and CON8 of the Hart District Local Plan 1996-2006 (Saved Policies), the aims of the Hook Neighbourhood Plan 2032 and the NPPF 2021.

- 4 No development shall commence on site until details of a construction environmental management plan are submitted to and approved in writing by the Local Planning Authority to demonstrate how the construction of the development would be dealing with environmentally sensitive areas, their aftercare and maintenance together with a plan detailing the works to be carried out showing how the environment will be protected during the works.

This shall include how construction activities would be controlled /managed to avoid adverse impacts on the adjacent SSSI and trees/hedgerows within/adjacent the site. The details approved shall be fully implemented and retained for the duration of the works.

REASON:

To protect ecology and biodiversity of the locality in accordance with Policies NBE4 and NBE11 of the Hart Local Plan (Strategy and Sites) 2032, the aims of the Hook Neighbourhood Plan 2032 and the NPPF 2021.

- 5 No development above ground floor slab level shall commence until an external materials schedule including product brochures, online product links, or physical samples as appropriate, details and samples of all external materials for the buildings, boundary treatment details and hard surfacing on the site have been submitted to and approved in writing by the Local Planning Authority. Once approved, the development shall proceed in accordance with the details as approved.

REASON:

To ensure a high-quality external appearance of the development and to satisfy Policy

NBE9 of the Hart Local Plan (Strategy and Sites) 2032, Policy GEN1 of the Hart District Local Plan 1996-2006 (Saved Policies), Policy HK12 of the Hook Neighbourhood Plan 2032 and the aims of the NPPF 2021.

- 6 Prior to the implementation of the landscape strategy hereby approved and notwithstanding any information submitted with this application, details of tree pits associated with the landscape strategy approved under condition 2 above and a detailed long-term Landscape Management Plan shall be submitted to and approved in writing by the Local Planning Authority. The tree pit details shall be implemented as approved when undertaking the landscape strategy and the long-term landscape management shall be fully implemented as approved.

Any trees or plants which, within a period of five years after completion of the approved landscape strategy, are removed, die or become, in the opinion of the local planning authority, seriously damaged or defective, shall be replaced as soon as is reasonably practicable with others of similar species, size and number as originally approved.

REASON:

To ensure the development is adequately landscaped and the landscaping is adequately managed in the interest of visual amenity and the character of the area as a whole in accordance with Policy NBE9 of the Hart Local Plan (Strategy and Sites) 2032, saved policies GEN1 and CON8 of the Hart District Local Plan (Replacement) 1996-2006, the aims of the Hook Neighbourhood Plan 2032 and the NPPF 2021.

- 7 Prior to occupation of any of the commercial units hereby approved, details of the long-term maintenance arrangements for the surface water drainage system shall be submitted to and approved in writing by the Local Planning Authority prior to first occupation. The details shall include maintenance schedules for each drainage feature type and ownership; and protection measures.

The details approved shall be fully implemented before the development is firstly occupied and complied with for the lifetime of the development.

REASON:

To ensure that the proposed development would not increase the risk of flooding within the site and elsewhere, be safe from flooding and to satisfy policy NBE5 of the adopted Hart Local Plan - Strategy and Sites 2032 and the NPPF 2021.

- 8 Notwithstanding any information submitted with this application, details refuse storage, and a refuse management plan shall be submitted to and approved in writing by the Local Planning Authority prior to first occupation of each of the units hereby approved.

The details approved for each of the units shall be fully implemented before the subject unit is firstly occupied and complied with thereafter.

REASON:

In the interest of neighbouring residential amenity and an adequate refuse storage/servicing, in accordance with policies NBE9 and NBE11 of the adopted Hart Local Plan and Sites 2016-203, saved policy GEN1 of the Hart District Local Plan 1996-2006 and the NPPF 2021.

- 9 Prior to first occupation of any of the industrial units hereby approved and notwithstanding any information submitted with this application, a night-time external lighting scheme shall be submitted to and approved in writing by the Local Planning

Authority.

Any external lighting surrounding the approved industrial unit no. 9 should demonstrate it would not result in detrimental impacts to the residential premises at Providence House (light nuisance) and any external illumination along/near the eastern and southern perimeter of the site should minimise/avoid lighting spillage beyond the confines of the site. The information should include measures to prevent unnecessary night-time illumination of the external areas of site.

The night-time external lighting scheme shall be implemented in strict accordance with the details approved.

REASON:

To protect the residential amenities of neighbouring occupiers, to minimise impacts on the adjacent Site of Special Scientific Interest and to satisfy Policies NBE4, NBE9 and NBE11 of the Hart Local Plan (Strategy and Sites) 2016-2032, saved local Policy GEN1 of the Hart District Local Plan 1996-2006, Policy HK8 of the Hook Neighbourhood Plan 2032 and the aims of the NPPF 2021

- 10 Prior to first occupation of any of the units hereby approved and following the installation of the night-time external lighting scheme approved under condition no.9, a post-installation testing report and a long-term maintenance scheme (including high level luminaires) shall be submitted to and approved in writing by the Local Planning Authority.

The post-installation testing report shall demonstrate the installation angles, lux values and associated fittings have been installed as intended with no inadvertent creation of light nuisance to surrounding residential properties.

REASON:

To protect the residential amenities of neighbouring occupiers, to minimise impacts on the adjacent SSSI and to satisfy Policies NBE4, NBE9 and NBE11 of the Hart Local Plan (Strategy and Sites) 2032, saved local Policy GEN1 of the Hart District Local Plan 1996-2006, Policy HK8 of the Hook Neighbourhood Plan 2032 and the aims of the NPPF 2021

- 11 Notwithstanding any information submitted with this application, no external activities shall take place between 2300 hrs -0700 hrs for the industrial unit no.9, as labelled in the approved plans.

REASON:

To protect the residential amenities of neighbouring occupiers and to satisfy Policy NBE11 of the Hart Local Plan (Strategy and Sites) 2032, saved local Policy GEN1 of the Hart District Local Plan 1996-2006, Policy HK8 of the Hook Neighbourhood Plan 2032 and the aims of the NPPF 2021.

- 12 External areas to the buildings shall not be used for storage of any kind.

REASON:

In the interest of visual amenity of the site and the locality as a whole and to satisfy Policy NBE9 of the Hart Local Plan (Strategy and Sites) 2032, saved local Policy GEN1 of the Hart District Local Plan 1996-2006, Policy HK12 of the Hook Neighbourhood Plan 2032 and the aims of the NPPF 2021.

- 13 No development, demolition work or delivery of materials shall take place at the site except between 08:00 hours to 18:00 hours on weekdays or 08:00 to 12:00 hours Saturdays. No development, demolition, construction work or deliveries of materials shall take place at any time on Sundays or Public Holidays.

REASON:

To protect the residential amenities of neighbouring occupiers and to satisfy Policies NBE9 and NBE11 of the Hart Local Plan (Strategy and Sites) 2016-2032, saved local policy GEN1 of the Hart District Local Plan 1996-2006, Policy HK8 of the Hook Neighbourhood Plan 2032 and the aims of the NPPF 2021.

- 14 Prior to first occupation of any of the development hereby approved, the approved vehicular access, car parking facilities, loading bays and manoeuvring areas to serve the development as shown on Site Plan 109 shall be fully completed. These areas shall be retained in perpetuity for the purpose of vehicular access, parking, loading and manoeuvring and nothing shall be placed upon these areas to prohibit their use for these purposes. They shall thereafter be retained in accordance with the approved plan.

REASON:

To ensure that the development is provided with adequate access, parking and turning areas in the interest of public highway safety and to satisfy Policies NBE9 and INF3 of the Hart Local Plan (Strategy and Sites) 2032, saved policy GEN1 of the Hart District Local Plan (Replacement) 1996-2006, Policy HK10 of the Hook Neighbourhood Plan 2032 and the aims of the NPPF 2021.

- 15 Notwithstanding the provisions of Schedule 2, Part 2 - Class A; Part 3 - Classes G, MA, T; Part 7 - Classes A, E, H, I and J(a) of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any subsequent order revoking and re-enacting that Order with or without modifications) no enlargement, improvement or other alteration to the industrial units permitted under these classes shall be carried out without the prior permission of the Local Planning Authority, obtained through the submission of a planning application made for that purpose.

REASON:

In order to prevent over-development, retain suitable neighbouring relationships and ensure that the Planning Authority can properly consider the effect of any future proposals on the character of the locality and amenity of neighbouring properties in accordance with Policy NBE9 of the Hart Local Plan (Strategy and Sites) 2032, saved local policy GEN1 of the Hart District Local Plan 1996-2006 and the aims of the NPPF 2021.

INFORMATIVES

- 1 The Council works positively and proactively on development proposals to deliver sustainable development in accordance with the NPPF. In this instance: The applicant was advised of the necessary information needed to process the application and, once received, the application was acceptable and no further engagement with the applicant was required.
- 2 The applicant is advised to make sure that the works hereby approved are carried out with due care and consideration to the amenities of adjacent properties and users of any nearby public highway or other rights of way. It is good practice to ensure that works audible at the boundary of the site are limited to be carried out between 8am

and 6pm Monday to Friday, 8am and 12 noon on Saturdays with no working on Sunday and Bank Holidays. The storage of materials and parking of operatives vehicles should be normally arranged on site.

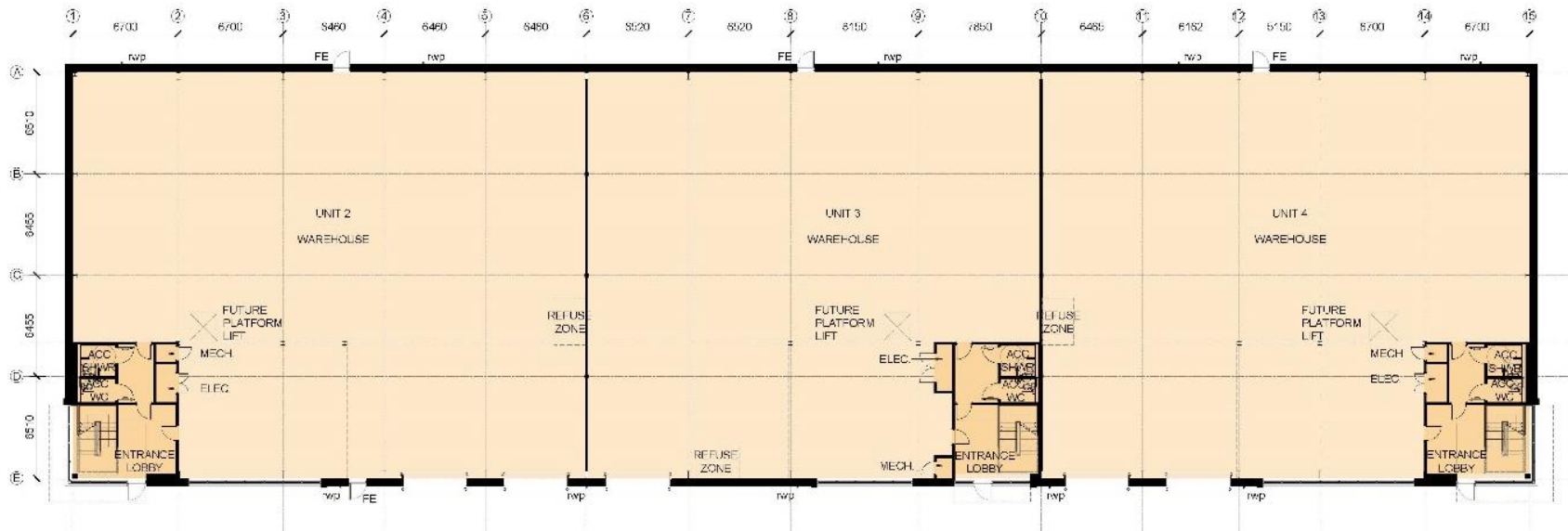
- 3 Works affecting the highway need consent from the Area Surveyor, please contact Hampshire Highways on 0845 850 4422.
- 4 There are public sewers crossing or close to your development. If you're planning significant work near Thames Water's sewers, it's important that you minimize the risk of damage. Thames Water will need to check that your development doesn't limit repair or maintenance activities, or inhibit the services they provide in any other way. The applicant is advised to read Thames Water's guide working near or diverting Thames Water's pipes.
- 5 A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. Thames Water would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 020 3577 9483 or by emailing trade.effluent@thameswater.co.uk
- 6 Should the applicant seek to vary planning condition no. 11 (night-time restrictions to unit no. 9), the Local Planning Authority should be provided with specific, robust and detailed mitigation measures for the loading bay which will have nearest distance and direct line of site with the residents of Providence House. Specific mitigation measures can include but not be limited to the design of the loading bay, loading dock curtains, screening, barriers, enclosures, sound insulation measures.



Proposed Site Plan

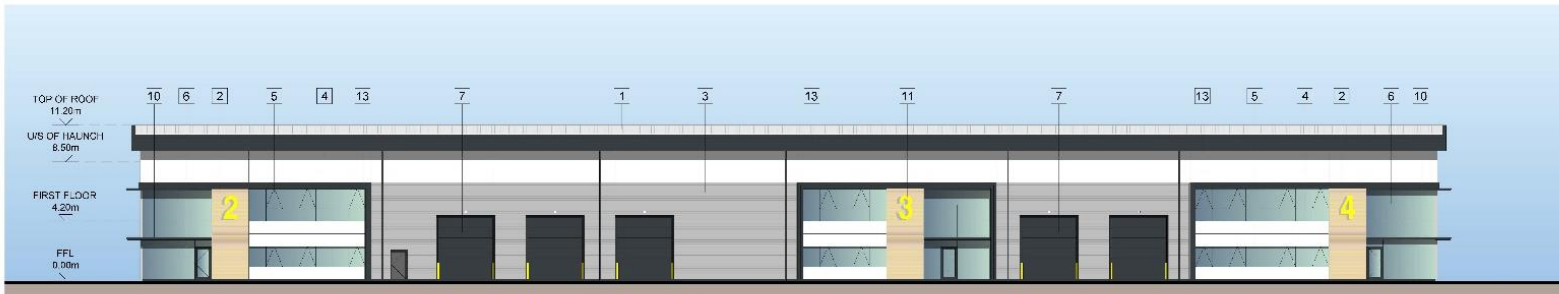


FIRST FLOOR PLAN

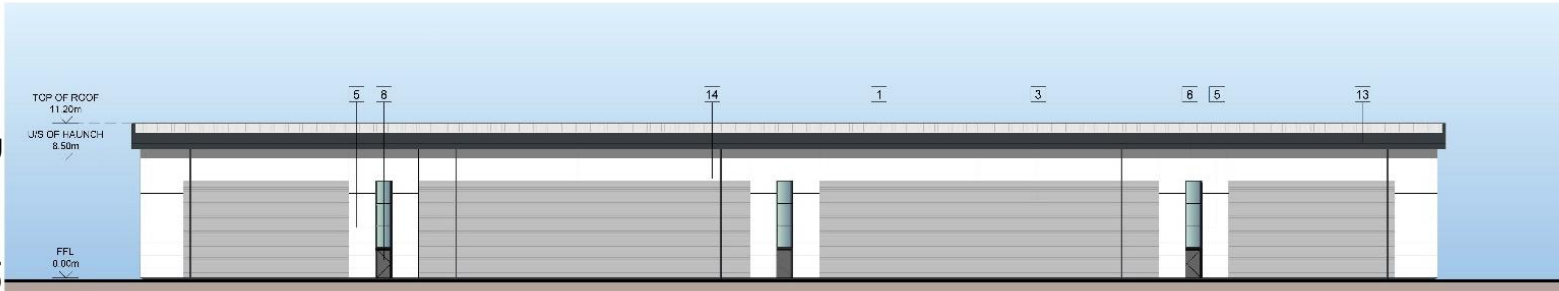


GROUND FLOOR PLAN

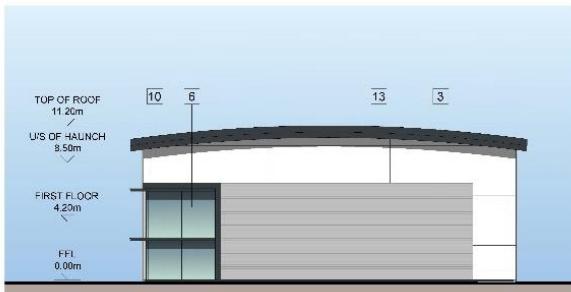
Proposed Floor Plans (typical industrial unit floorplans)



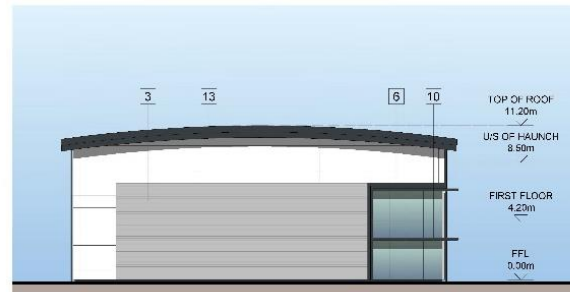
NORTH WESTERN ELEVATION



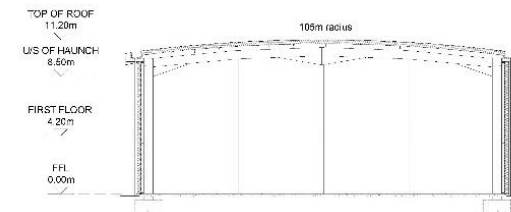
SOUTH EASTERN ELEVATION



SOUTH WESTERN ELEVATION



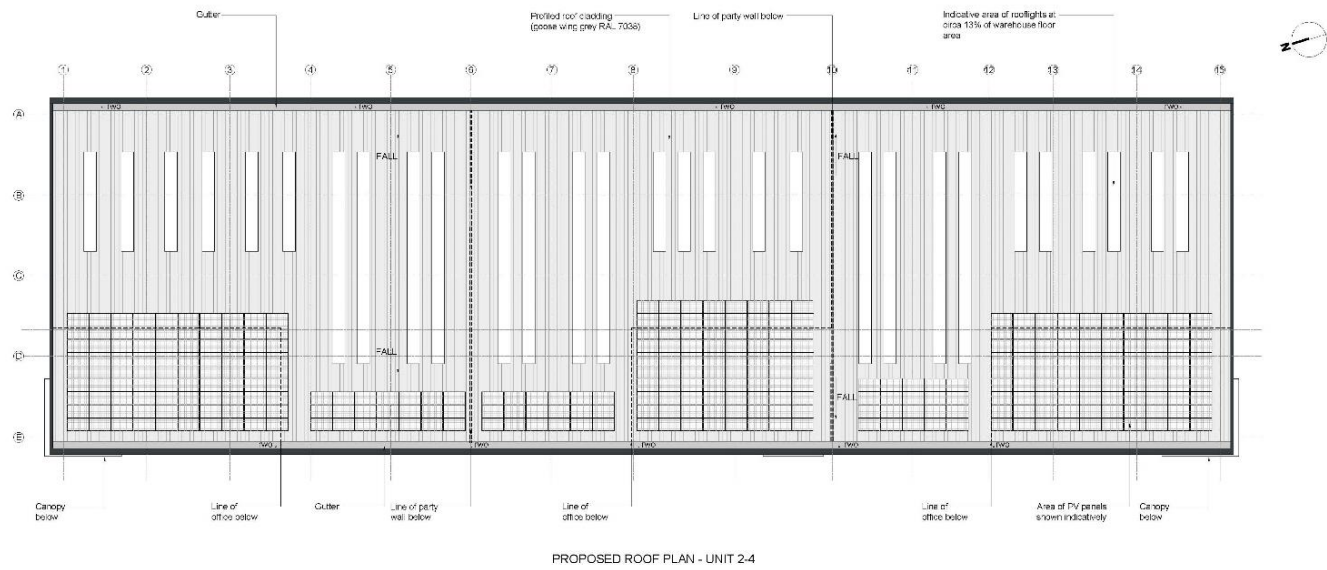
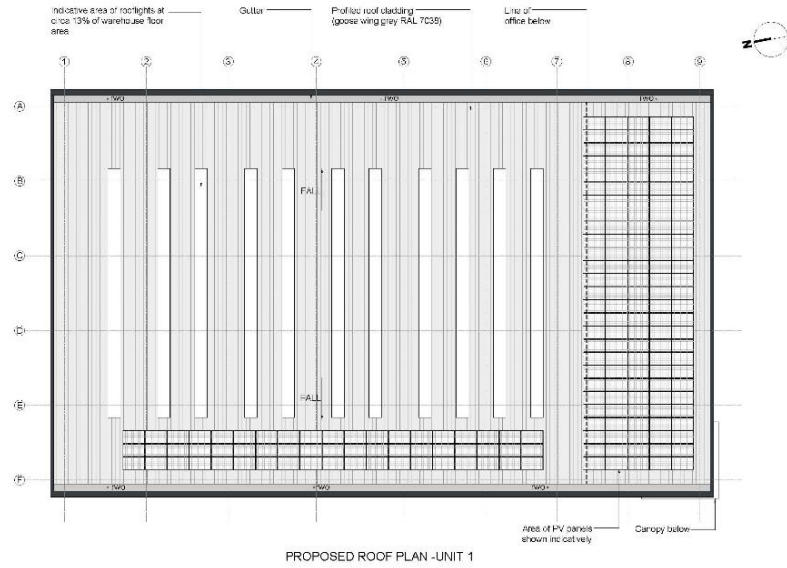
NORTH EASTERN ELEVATION



TYPICAL CROSS SECTION






- MATERIALS
- 1: PROFILED R (GOOSEW)
 - 2: BRICKWOR
 - 3: HORIZONTA (METALLIC)
 - 4: MICRO RIB (WHITE RAL)
 - 5: ALUMINIUM (ANTHRAC)
 - 6: ALUMINIUM DOORS AND (ANTHRAC)
 - 7: LOADING B (ANTHRAC)
 - 8: STEEL PER (ANTHRAC)
 - 9: STEEL BOLL
 - 10: MAIN ENTR
 - 11: SIGNAGE Z
 - 12: ALUMINIUM
 - 13: FLASHING (ANTHRAC)
 - 14: RAINWATER (ANTHRAC)

Proposed Elevations and Sections (typical industrial unit elevations)



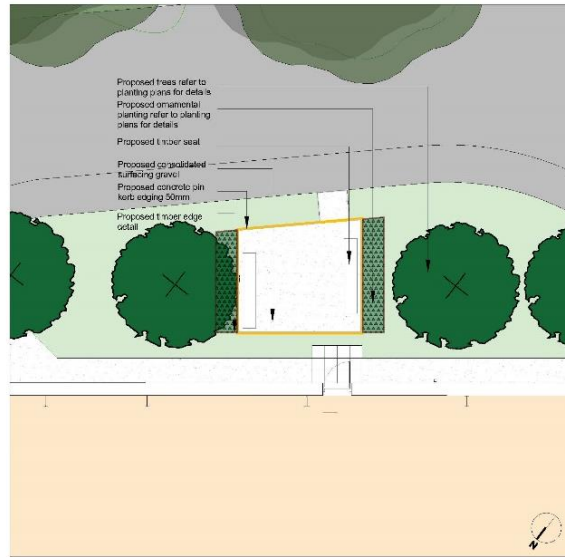
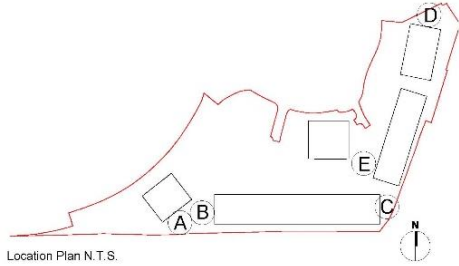
Proposed roof plan (typical industrial unit roof plan)

Legend

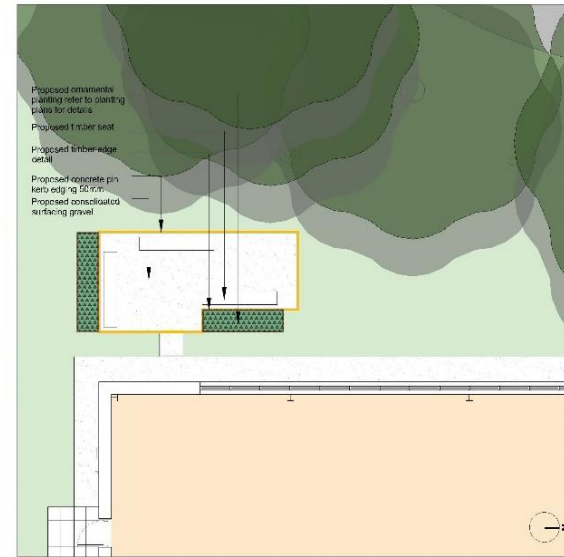
-  Detail planning application boundary
-  Existing trees/ vegetation - to be retained
-  Trees to be removed
-  Proposed tree canopy 15 yrs +
-  Proposed tree canopy 25 yrs + / maturity



Tree Canopy Cover Plan



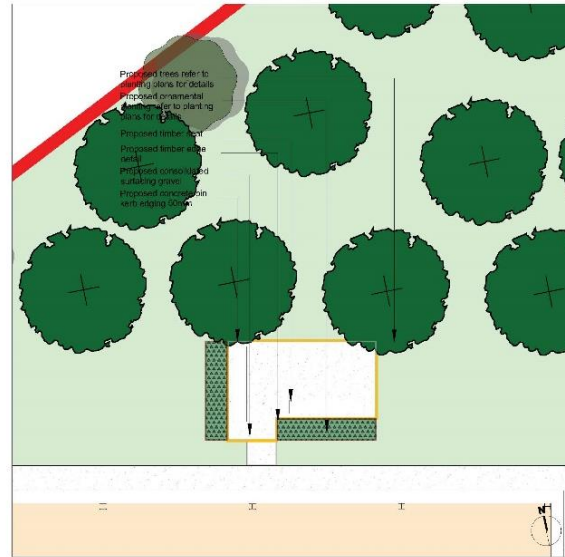
A
PL LANDSCAPE-TYPICAL DETAIL TO UNIT 6
 Amenity area at establishment up to 5 years Scale 1:100



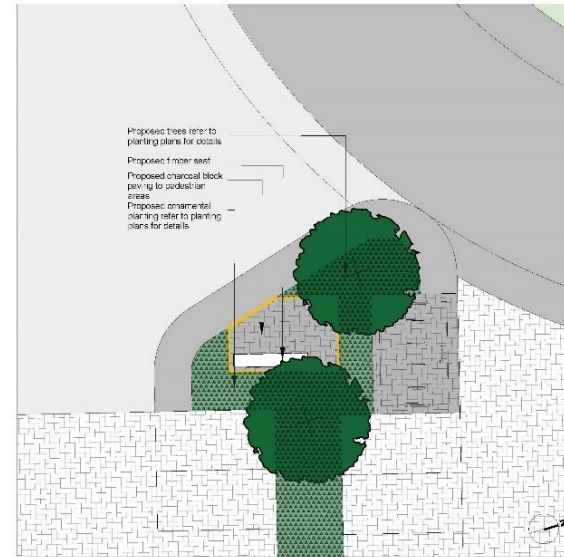
B
PL LANDSCAPE-TYPICAL DETAIL TO UNIT 8
 Amenity area at establishment up to 5 years Scale 1:100



C
PL LANDSCAPE-TYPICAL DETAIL TO UNIT 5
 Amenity area at establishment up to 5 years Scale 1:100



D
PL LANDSCAPE-TYPICAL DETAIL TO UNIT 1
 Amenity area at establishment up to 5 years Scale 1:100



E
PL LANDSCAPE-TYPICAL DETAIL TO UNIT 4
 Amenity area at establishment up to 5 years Scale 1:100

Precedent Images



Typical amenity area



Typical amenity area



Proposed consolidated gravel



Typical proposed Bench

Client:
 XLB PROPERTY &
 PATRON HOOK LTD



Project:
 BARTLEY WOOD BUSINESS PARK,
 HOOK

13 Waverley,
 Warren Park,
 Millers Hill,
 MK13 2NW
 01525 222 210

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Drawing Title:
 AMENITY AREAS

Scale @ A1:
 1:100

Checked by:
 ME

Date:
 SEPT.21

Job No:
 11248

Stage: Design No:
 PL_146

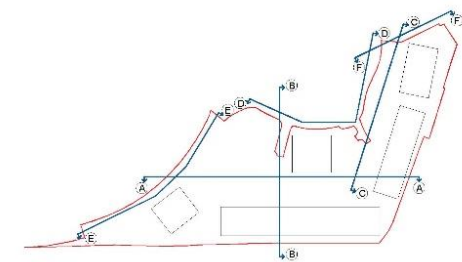
Rev:
 B

Project Status:
 Consultation Preliminary Working
 Approved For Construction

Architect:
 Planning
 Master Planning
 User Design
 Interiors
 Landscape

Offices:
 Working
 Forbid

Amenity Area Plan

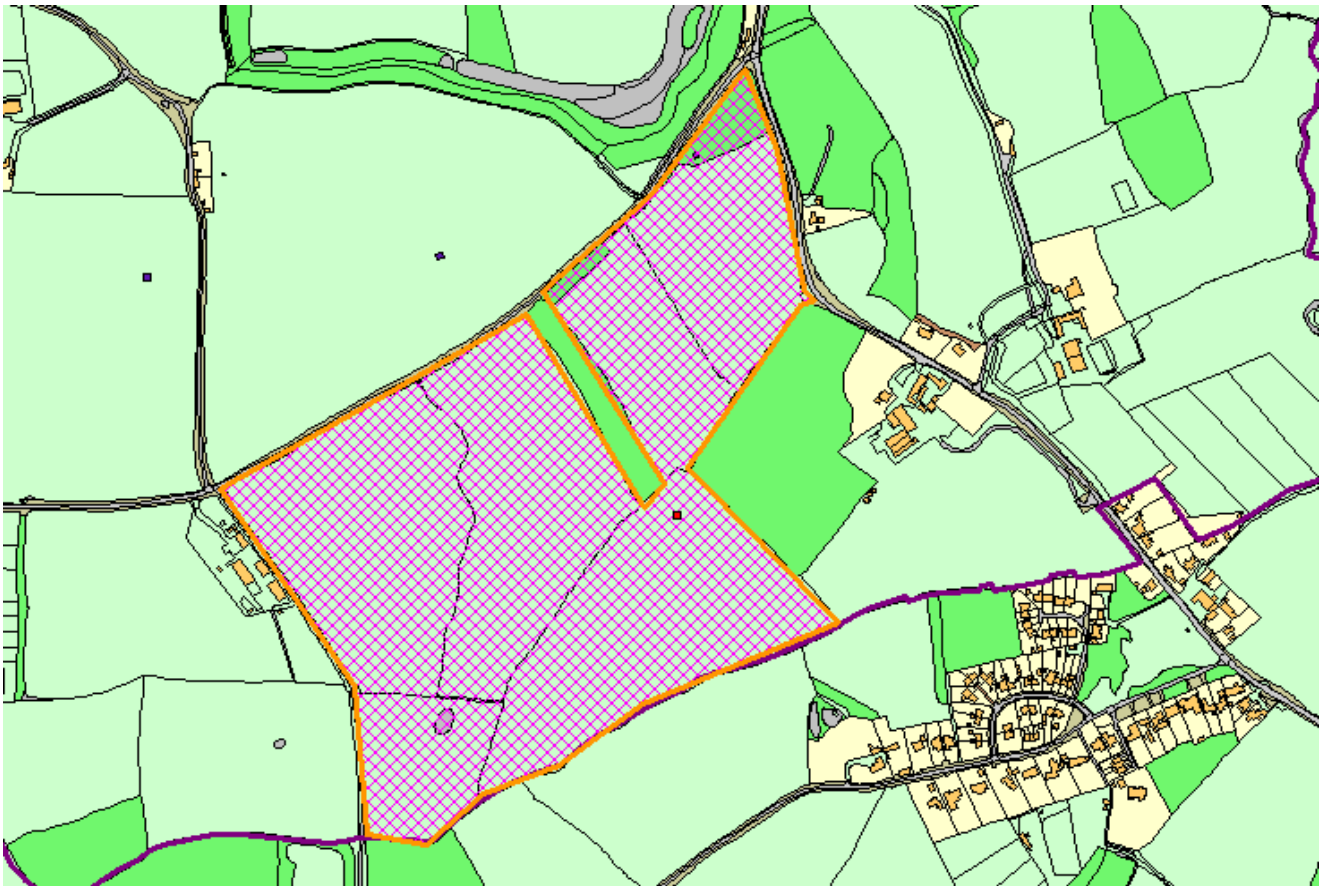


REFERENCE PLAN N.T.S.

Site Sections

COMMITTEE REPORT ITEM NUMBER 7:

APPLICATION NO.	21/02749/FUL
LOCATION	Land Lying to The North of Vicarage Lane Hound Green Hook Hampshire
PROPOSAL	Construction of a temporary 17.87 MW Solar Farm, to include the installation of Solar Panels with LV switch/transformer, customer switchgear/T Boot enclosure, a DNO substation enclosure, security fencing, landscaping and other associated infrastructure
APPLICANT	.
CONSULTATIONS EXPIRY	10 June 2022
APPLICATION EXPIRY	9 February 2022
WARD	Hartley Wintney
RECOMMENDATION	Granted, subject to planning conditions



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BACKGROUND

This planning application is brought to Planning Committee at the discretion of the Head of Place in line with the Council's Constitution.

DESCRIPTION OF THE SITE

The application site is located to the west of the Reading Road (B3349) and an existing plant nursery (Hortus Loci) formerly known as Whitewater Nursery, which is also accessed from this road. The rural settlement of Hound Green is nearby, in a south-east direction.

The site is comprised of six agricultural fields amounting to 30 hectares in area. The land is currently in arable use and are bordered by hedgerows and trees and agricultural fields featuring some areas of woodland to the north and south. There are also some agricultural buildings adjacent to the western boundary of the site.

SITE AND SURROUNDING DESIGNATIONS

- The site falls outside any settlement boundary and is in the countryside.
- The site falls within Flood Zone 1, 2 and 3 (rivers) and sections of it are located within a surface water flooding area.
- Public Right of Ways (PRoW) are located nearby to the east, west and south of the site.
- Heckfield Conservation Area (HCA) southernmost section lies north of the north-eastern section of the site, on the opposite side of the rural lane that runs along the northern boundary of the site.
- Mattingley, West End Conservation Area (MCA) is located nearby and lies south of the site.
- Grade II* Listed Building Highfield House (and its grounds) is located north of the north-eastern section of the site.
- Grade II Listed Building Ivy Cottage is east of the site, on the opposite side of Reading Road (B3344).
- Grade II Listed Building Brown's Farm Cottage located north of the site along Malthouse Lane.
- Grade II Listed Building Home Farm Barn located east of the site and access via Reading Road (B3344).
- Brick Kiln Copse, a Site of Importance for Nature Conservation (SINC), adjoins the site to the east.
- Turnpike Copse SINC is in close proximity of the north-east corner of the site on the opposite side of Reading Road (B3344).
- Chases Copse SINC adjoins the southern-western section of the site.

PROPOSAL

Planning permission is sought for the installation of solar photovoltaic panels and auxiliary equipment on the land for a limited period of 40 years.

A maximum 33,102 tilt ground mounted photovoltaic panels (PVP) are proposed and would be attached to a fixed ground mounted steel and aluminium racking system. The PVP would be raised 0.60m off the ground and would reach a maximum height of 2.69m. They would be laid out in east-west rows, spaced approximately 5.3m apart and tilted at 25 degrees. They would be finished with non-reflective material to avoid glare.

There would be six transformers with associated cabinets and fencing enclosures sited and installed throughout the site, occupying a maximum area of 6.51m by 4.44m and a maximum height of 2.69m.

A customer switch enclosure (cabinet like appearance) measuring approximately 7m by 2.80m and a maximum height 2.27m; and an enclosed electrical substation measuring 7m by 3.11m and a maximum height of 3.45m are also proposed. They would both be situated to the north-west of the site, the substation would be accessed separately from the proposed solar farm.

A 2m high deer fence would be installed along the site's perimeter along with soft landscaping.

The proposal would have a maximum output of 17.87MW that could be exported to the National Grid. To put this output into context, the proposal would be capable of powering approximately 6,700 homes and would result in an approximate saving of 4,500 tonnes of carbon dioxide emissions (CO₂) per annum.

RELEVANT PLANNING HISTORY

21/02546/EIA – Opinion Issued, 09.12.2021

Environmental Impact Assessment (EIA) Screening Opinion in accordance with Regulation 6 of the Town and Country Planning (Environmental Impact Assessment) Regulations 2017, as amended¹ from Hart District Council (HDC) with regard to the proposed solar farm on Land at Kiln Fields, Heckfield – Not EIA development.

97/00115/FUL – Granted, 20.03.1997 (associated with small portion of the overall site)
Multi span poly tunnel - for growing purposes only - not open to the general public

RELEVANT PLANNING POLICY

Section 38(6) of the Planning and Compulsory Purchase Act 2004 (as amended) requires applications for planning permission to be determined in accordance with the development plan unless material considerations indicate otherwise.

The relevant adopted Development Plan for the District includes the Hart Local Plan (Strategy and Sites) 2016-2032 (HLP32) and the saved policies of the Hart District Local Plan (Replacement) 1996-2006 (HLP06). Adopted and saved policies are up-to-date and consistent with the NPPF (2021).

Hart Local Plan (Strategy & Sites) 2032 (HLP32):

Policy SD1 - Sustainable Development
Policy NBE1 - Development in the Countryside
Policy NBE2 - Landscape
Policy NBE4 - Biodiversity
Policy NBE5 - Managing Flood Risk
Policy NBE8 - Historic Environment
Policy NBE9 - Design
Policy NBE10 - Renewable and Low Carbon Energy
Policy NBE11 - Pollution
Policy INF3 - Transport

Hart District Local Plan (Replacement) 1996-2006 'saved' policies (HLP06):

Policy GEN1 - General Policy for Development
Policy CON8 - Trees, Woodland & Hedgerows: Amenity Value
Policy CON23 - Development Affecting Public Right of Ways

Other relevant planning policy documents

National Planning Policy Framework 2021 (NPPF)
Planning Practice Guidance (PPG)
Hart Landscape Assessment 1997 (HLA)
Hart Landscape Capacity Study 2016 (HLCS)
Hart's Strategic Flood Risk Assessment 2016
Hart's Climate Change Action Plan
Hart's Equality Objectives for 2021 - 2023

CONSULTEES RESPONSES

Mattingley Parish Council

No response received.

Heckfield Parish Council

No response received.

Environment Agency Thames Area

No objection, subject to conditions to secure:

- Development in accordance with drawing ref: 007016_01_Layout_Rev. E
- No raising of ground levels within flood risk area shown in drawing ref: KFH-BWB-ZZ-XX-DR-YE 003 RE. P02 Appendix 1 of Hydraulic Modelling Technical Note dated 23.05.22
- Details of security fencing.

Conservation/Listed Buildings Officer (Internal)

There would be a low level of 'less than substantial' harm in terms of NPPF.

- Heckfield Conservation Area: the site is not visible from within the conservation area due to well established planting. No impact will arise on the setting of the CA.
- Grade II* listed Highfield House: the distance of the house and the intervening landscape features effectively remove any visual impact or other environmental impacts.
- Grade II Ivy Cottage: the rural quality and character of the landscape does make a positive contribution to the significance of the listed building and an understanding of its history. The solar farm will be available from the upper windows of the cottage it is the erosion of the former agricultural character of the setting that is the relevant impact. The impact is low level less than substantial harm in the terms of the NPPF.
- Grade II Browns Farm Cottage and Home Farm Barn: The buildings are approximately 300 metres from the site but visual change to the character of the agricultural landscape will erode its contribution to the historic significance of the listed buildings, although that erosion will be very modest. have clearer views because of topography and the open nature of the landscape.

HCC Local Lead Flood Authority

No objection, subject to a planning condition to secure:

- Implementation of drainage system in accordance with Flood Risk Assessment.

Hampshire County Council (Highways)

No objection, subject to conditions to secure:

- Provision of visibility splays demonstrated.

Environmental Health (Internal)

No objection.

Ecology Consult (Internal)

No objection, subject to planning conditions to secure:

- Implementation of Ecological Information, including measurable Biodiversity Gain.
- Construction Environmental Management Plan.

Landscape Architect (Internal)

No objection, subject to planning conditions to secure:

- A comprehensive soft landscape scheme in accordance with Strategy plan ref. L-0001 P02, and amendments to this to include planting to reinforce the hedgerow along the northern boundary of the site.
- Long term landscape management plan.

Natural England

No objection, the proposed development will not have significant adverse impacts on statutory protected nature conservation sites or landscapes.

NEIGHBOUR COMMENTS

At the time of writing this report there have been 6 public representations received. Of these, 4 raise objection and 2 were made in support. The summary of comments is below:

Comments in support:

- Energy generation - Fair exchange to help prevent massive flood events or failing crops in other countries.
- Planning conditions could address noise issues
- Renewable energy sources are critical to reduce our carbon footprint.
- This is a suitable site for such development and a proportional response to energy crisis.
- Right measures are being proposed to reduce noise, visual pollution and habitat impacts.

Comments in objection:

- Transformers would generate noise that would have negative impact to amenity in Vicarage Lane and surrounding area.
- Environmental impacts on open fields, woods and other habitats, changing the area beyond recognition.
- Proposal would be an eyesore with mass of black panels everywhere.
- Negative impacts to landscape and local wildlife.

- Building on farmland would result in an increase in the importation of food.
- Further impact on area immediate to the B3344, as a result of other solar farms approved.
- Money is the driver for these proposals.
- Resources to transport, build and dismantle are not eco-friendly.
- Site alongside motorways and major roads should be the ones considered for solar farms.
- Land is needed to farm crops for food.

CONSIDERATIONS

PRINCIPLE OF DEVELOPMENT

The application site is located within the countryside as designated within the Local Plan proposals maps. Policy NBE1 of the HLP32 seeks to manage development in the countryside and contains 14 separate criteria where development is deemed to be acceptable. None of these criteria specifically provide for development of a solar farm. However, this policy seeks to only permit development when it is demonstrated that a countryside location is both necessary and justified.

The nature and scale of the proposed development would be improbable to deliver within any of the settlements of the district. It is also well established that commercial solar farms are delivered on countryside land for operational reasons.

The HLP32 is not silent in relation to this form type of development. Policy NBE10 of the HLP32 sets out that proposals for energy generation from renewable resources will be supported provided that any adverse impacts are satisfactorily addressed. The criteria at NBE10(a-f) are relevant and assessed later in this report.

The NPPF supports renewable energy (para. 152). It advises Local Planning Authorities not to require applicants to demonstrate the overall need for renewable energy and to approve applications if impacts are (or can be made) acceptable (para. 158).

Accordingly, there is in-principle support for the proposal in the development plan and the NPPF, subject to any impacts arising being appropriately addressed.

LANDSCAPE AND VISUAL IMPACTS

Policy NBE2 of the HLP32 seeks to achieve development proposals that respect and wherever possible enhance the special characteristics, value, or visual amenity of the district's landscapes. This policy contains five criteria to assess development proposals in relation to landscape impacts. It also states that, where appropriate, proposals will be required to include a comprehensive landscaping scheme to ensure that the development would successfully integrate with the landscape and surroundings.

Each criterion from Policy NBE2 of the HLP32 is dealt with in turn below.

a) Impacts to landscape qualities identified in landscape character assessments.

According to the Hart Landscape Capacity Study 2016 (HLCS), the application site lies within landscape area MA-01 (west of Mattingley & Heckfield). The study area is broader than the site and its immediate setting. This study area was determined to have a high visual sensitivity, medium/high landscape sensitivity and landscape value. The area (including the application site) is therefore categorised to have a low overall landscape capacity, which

essentially means that a minimal amount of development could be accommodated in limited situations, providing it has regard to the character and the sensitivity of the adjacent character areas.

The landscape qualities of the area, relevant to the application site and surroundings within the landscape area are set out as:

- Gently undulating plateau landform between the Whitewater valley to the east and the Lodden valley to the west.
- Medium scale mosaic of mixed farmland with medium scale, relatively frequent blocks of woodland, most of which are designated SINCS.
- Woodland blocks/copses often linked by a robust network of hedgerows, although there is evidence of past hedgerow removal.
- PRow network moderate to good across the whole of this area.
- There are several farms, some with listed buildings, but otherwise scattered, occasional cottages near the perimeter or abutting this area.
- Mattingley West End CA comes into this area from the west and occupies a significant proportion as setting.
- There is a strong, consistent pattern of irregular shaped fields with a sense that the landscape has a long history settlement and farming.
- Frequent middle-distance views, some broad or panoramic, but often contained by woodland edges and hedgerows.
- Historic landscapes at Stratfield Saye, Highfield House, Heckfield House, Bramshill, Elvetham Hall and Tylney Hall, all within relatively close proximity to this area.

The application site consists of arable fields which are mainly partitioned by way of well established hedgerows with some of the parcels located towards the northern end of the site featuring mature tree belts. The topography of the application site is relatively flat with gentle slope downwards from the southeast to the west.

In terms of the landscape qualities listed above the development proposed would be sited in the fields at a distance from the hedgerow/tree edges dividing the different parcels of land. Since the ground levels are not proposed to change, the different rows of PVPs would follow the topography of the land.

The development would not interfere with a small woodland block that forms part of the northern part of the site. Other woodland blocks that adjoin the site and are designated as SINCS would also not be physically affected by the proposal.

The PRows in the locality do not immediately adjoin the site. The closest PRows to the site run in a north-south direction at either end of the site (east and west). PRow no. 5/10 located west of the site, at the closet point, would be approximately 255m away. PRow no.13 located east of the site is approximately 120m away from the site.

In both cases, the amenity and recreational value of these PRows would not be adversely affected due to the intervening vegetation, distance and path they follow.

In the case of PRow no.13, it runs through the grounds of the plant nursery (Hotus Loci) located east of the site, which contain polytunnels. The sections of this PRow that are outside private property would largely have no direct views of the site, except for a short stretch behind properties fronting onto Vicarage Road, as the current hedgerow in small sections of the south-eastern corner of the site is weak. However, a robust landscape scheme could minimise such views in the long term and reduce impacts to the amenity provided by the PRow.

Other matters such as heritage assets and views are discussed later in this report.

The impact anticipated to the landscape qualities of the character area MA-01 at local level would be of a low/minor scale.

Therefore, the impact that would be caused to the landscape quality of the immediate surroundings, whilst material, would be localised and limited to specific vantage points around the application site. However, the list of attributes that identify the character area MA-01 as a whole as listed in the Hart Landscape Capacity Study (2016) would not be adversely affected.

b) the visual amenity and scenic quality of the landscape.

According to Hart's Landscape Assessment (1997), the application site falls within the 'Tynley Hall' Character Area. The main distinguishing features consist of:

- mixed farmland and scattered blocks of woodland (including several remnant ancient semi-natural woodlands);
- a strong landscape structure of woods and hedgerows which provide a backdrop to open fields and contain views and a coherent landscape character;
- a dispersed pattern of rural settlements comprising small hamlets (the largest being Rotherwick and Mattingley) ...and scattered farms linked by a network of rural lanes;
- a comparatively remote, rural character due to the sparse road and settlement pattern and the enclosure provided by the frequent blocks of woodland;
- gently undulating landform which also helps to contain views and create enclosure

The document acknowledges the overall priority is for conservation of these characteristics, while the need for intervention centres mostly upon localised restoration of weakened landscape structure and strengthening of particular landscape character which is in decline.

The Landscape Visual Impact Assessment (LVIA) submitted by the applicant assesses the visual/scenic landscape value of the site and the area surrounding the site. The document acknowledges that the site and immediate context are not subject to any national, local or other landscape designations, the site has a very limited contribution towards natural heritage given they are arable fields and do not benefit from any cultural heritage (e.g., heritage assets) or any rural association. It is noted that a portion of the immediate context benefits from a heritage designation (Heckfield Conservation Area), and impacts are discussed further below.

In terms of visual impacts from the immediate surroundings and further afield, the LVIA considers 9 viewpoints from public highways, footpaths and surrounding land to assess the impacts on the visual landscape arising from the development. All of these viewpoints are within a 1km radius of the application site. Four of these along the unnamed road adjacent to the northern boundary of the site, one further north along Malthouse Lane, three viewpoints have are located to the south (vicarage Road and land to the south) and one more from the PRoW no. 13 located to the east of the site.

The east perimeter of the site (of which a section adjoins Reading Road (B3344)), features a well-established hedge/tree structure with only very limited instances where the views into the site are glimpsed through the vegetation. The northern perimeter of the site runs adjacent to an un-named rural lane which has a strong tree/hedging structure on its eastern half. The western half of the northern boundary of the site, whilst featuring a mature hedge only, its height is limited, there are no mature trees. However, visibility of the PVPs would be clearly

achieved when passing by the gated entrances to the application site (x2). Beyond the site the topography undulates and rises up gently in a northern direction.

The PVP and associated equipment would be installed to follow the topography of the site including the shape and partition of the parcels within it. The PVP would be accommodated in the different fields set in from their hedged perimeter which would allow landscaping reinforcement, peripheral access/ circulation and access to the transformers/cabinets proposed.

The Landscape Visual Impact Assessment (LVIA) submitted with the application discusses visibility of the site from the viewpoints referred which comprises nearby PRoWs (nos. 10, 12 and 13).

A viewpoint from PRoW no. 10 is provided in the LVIA at its intersection with the unnamed road that runs parallel to the northern boundary of the site. This viewpoint is approximately 200m west from the western boundary of the site and intervening vegetation prevent views of the application site, there is also a cluster of agricultural buildings that would intervene in such views. However, if one travels further south along the PRoW, there would be vantage points where the upper parts of the PVP would be noticeable due to weak landscape along the perimeter. At the closest point this PRoW would be approximately 235m.

Views of the site would not be, in the main, achieved from PRoW no. 12. It is noted the site's south boundary hedgerow structure also features weak points that may allow distant views of the PVPs in the short term on the approach to Vicarage Lane.

Lastly in terms of PRoW no. 13, the viewpoint provided is from within the plant nursery to the east of the site. Views achieved from within the grounds of the plant nursery or further north would be nil. However, if one moves further south along this route (between the boundary of the nursery grounds and the rear of properties fronting onto vicarage Lane), limited views of PVPs would be achieved through weak perimeter landscaping in the south-eastern corner.

Long range views of the application site (in excess of 2km from the site) would not be achieved from public highway/rural lanes or parcels of as a result of existing mature woodland blocks, mature hedge/ tree structures that border parcels of countryside land in this character area.

The short range views discussed above would be adverse in year 1 after completion at a low/minor scale, however a robust landscape proposal to improve and reinforce the hedge/tree structures along the perimeter of the site would in the long term (15 years after completion of the development) contribute to reduce the identified impacts for the most part of the viewpoints, with only a reduce number of views at short range where the impacts would remain (e.g., inward site views from the site accesses).

The Council's Landscape Manager was consulted on this application and, in assessing the application, recognised that solar farm developments represent a material change to rural characteristics of fields in the countryside. However, he also confirms that the acceptability of such change is then based on the range of its influence (distance/extent).

In this case, he acknowledges that the effects appear limited, due to the nature of the low-lying even topography with the adjacent country lane that bounds the north of the site, allowing short distance views. In his opinion, views north from Vicarage Lane are middle distance and partially truncated by the southern site boundary hedgerow and trees. The Landscape Manager also states that the adverse effects of the proposed development would be contained to areas close to the site and in conclusion he raises no objection subject to

acceptable soft landscaping proposals and a related management plan, he considers the impacts of the proposal can be mitigated satisfactorily.

In terms of cumulative landscape impacts arising from this proposal and as a result of other solar farms in the district, it should be noted that there were two solar farms recently referred to Planning Committee (Nov 2021) and approved.

One of them is located immediately west from RAF Odiham and the other is located north of Hook / east of Rotherwick, adjacent to Reading Road (B3344). There is another solar farm immediately south of the M3 between Fleet and Winchfield.

Whilst there are several developments of this nature in the district's landscape, they all vary in terms of size, are all located in different landscape character areas, are at a significant distance from each other and there is not intervisibility of any kind between them. The proposal subject to this application would not interact visually with any of those other solar farms and would be integrated into the established landscape of the locality, as such the proposed development would not give rise to any cumulative landscape impacts.

c) Impacts to historic landscapes, parks, gardens, and features.

The main heritage aspects are considered below as part of the main assessment under planning consideration 'Heritage Assets'.

d) important local, natural and historic features such as trees, woodlands, hedgerows, water features e.g., rivers and other landscape features and their function as ecological networks.

The Arboricultural information submitted acknowledges that the developable area of the site (where PVP are proposed) is relatively free from arboricultural constraints and that there are ample opportunities across the site to establish new trees and restore existing hedgerows. It, however, recommends that internal tracks for maintenance should avoid RPAs and that the design of the development should use the existing gateways of the site.

It is noted that trees within the application site do not benefit from any statutory protection, and the information also has identified trees in poor health. A robust landscape strategy would enhance the current landscaping conditions along the perimeter of the site and the boundaries of the different parcels of land that form it. A landscape strategy would also deliver ecological improvements. The Council's Ecology Officer has raised no concerns with the ecological information submitted, as discussed below as part of the main considerations on 'Biodiversity/ Trees/ Landscaping'.

e) it does not lead to the physical or visual coalescence of settlements, or damage their separate identity, either individually or cumulatively with other existing or proposed development.

The proposal would not lead to any physical or visual coalescence between settlements.

It should be noted that the proposal was accompanied by a landscape strategy, which was assessed by the Council's Landscape Manager. Whilst the landscape strategy was acceptable in principle, it is considered there needs to be a stronger landscape proposal along the perimeter of the site, particularly where landscape is currently weak. Therefore, if this application is supported, a planning condition requiring a revised landscape strategy would be suggested to comply with landscape objectives of adopted policies.

Given the above assessment, a low/minor local adverse harm has been identified to the

visual amenity, landscape and scenic quality of Tynley Hall Landscape Character Area which would present a conflict with one of the requirements of Policy NBE2 of the HLP32, and the NPPF 2021.

HERITAGE IMPACTS

Policy NBE8 of the HLP32 states that development proposals should conserve or enhance heritage assets and their settings, taking account of their significance.

Paragraphs 195, 199, 200, 202, 203 of the NPPF are of relevance for determining the significance of Heritage Asset (HA), assessing the impact on significance and the need to weigh heritage harm.

The Heritage Assessment submitted considers a sizeable area around the site as part of identification of impact. The statement identifies 6 listed buildings would be potentially affected by the development. The impact identified would arise from the potential to see the PVPs on the site. The Council's Conservation Officer agrees the appropriate heritage assets have been identified.

- Heckfield Conservation Area (HCA)

The rural setting of the conservation area makes an important contribution to its special character and appearance. The proposal would change part of the rural landscape mainly towards the south-west of the conservation area. However, it is worth noting that the site is not visible from within the conservation area due to well established tree belt that wraps around its southern end. Furthermore, the north-eastern part of the site and the eastern portion of its north boundary also features mature trees and perimeter hedgerows. Therefore, whilst a portion of the HCA would change as a result of the introduction of the proposed development, there is no visual interaction of any kind between the HCA and the application site, the Conservation Officer has assessed that no material impacts are identified to the HCA.

- Surrounding Listed Buildings

Grade II* listed Highfield House - The site is to the south of the grounds of this heritage asset and the listed building has designed views in that direction. However, this listed building is in excess of 800m away from the northern boundary of the site and as referred to above, there is intervening mature landscape that effectively removes any visual impact or other environmental impacts (e.g., glare or noise) arising from the proposal.

Ivy Cottage Grade II - This closest listed building to the site, which is approximately 20m from the eastern boundary of the site, on the opposite side of Reading Road (B3344). It is a C17th century or slightly earlier vernacular building, identified as a woodsman's cottage, with therefore a direct functional relationship to the historic landscape which forms its setting.

Surrounding landscape has changed to become more open with the character of modern agricultural production, nevertheless the rural quality and character of the landscape does make a positive contribution to the significance of the listed building and an understanding of its history. Very limited views of the proposed solar farm would potentially be achieved from the upper windows of the cottage (mainly in winter months when landscape is not in leaf), as this property features a high hedge on the highway frontage and the application site has a weak perimeter landscape directly opposite this listed building. The Conservation Officer notes that it is the erosion of the former agricultural character of the setting that is the relevant impact. This impact, however, would be low level in the 'less than substantial' harm

in the terms of the NPPF.

The impact identified could be mitigated by strengthening the hedgerow and boundary planting with appropriate native species so that the visual impact arising from the change in character in the field is made less noticeable.

Browns Farm Cottage and Home Farm Barn, both Grade II listed - Both are vernacular buildings and in the case of the barn, have a clear historical functional relationship with the agricultural setting. The buildings are approximately 300 metres from the site but have clearer views because of the topography and the open nature of the landscape and their siting/orientation in relation to the application site. The visual change to the character of the agricultural landscape would also erode its contribution to the historic significance of these listed buildings. The Conservation Officer acknowledges that such erosion would be very modest. A low level of the 'less than substantial' harm in the terms of the NPPF.

Overall, therefore, the proposed development is likely to cause some harm at the less than substantial scale of harm to the significance and ability to appreciate the significance of the three listed buildings referred to above.

Therefore, due to the less than substantial harm generated at the lower level of the spectrum, the proposal would not strictly accord with policies NBE8 and NBE9 of the HLP32 or Policy GEN1 of the HLP06 in this respect.

The NPPF sets out that heritage harm can in some instances be outweighed by public benefits within the balancing exercise and this assessment is undertaken later in this report in the Planning Balance Section below.

IMPACTS UPON AMENITY

Policy NBE11 of the HLP32 supports development which does not give rise to, or would not be subject to, unacceptable levels of pollution. Saved policy GEN1 of the HLP06 supports development that, amongst other requirements, causes no material loss of amenity to adjacent properties.

Paragraph 130 of the NPPF 2021 advises that planning decisions should ensure that developments achieve a high standard of amenity for existing and future users and do not undermine quality of life for communities. The neighbouring properties that would be directly affected by the proposal would be Ivy Cottage, Kiln Cottage/ Kiln Farm, the Bungalow and Oates Cottage (Reading Road cluster) and properties forming the western end of the Hound Green Settlement (north of Vicarage Lane cluster).

It should be noted that none of these residential buildings immediately adjoin the site. It has been previously stated that Ivy Cottage is 20m away from the eastern end of the site, on the opposite side of Reading Road (B3344). The other two groups/clusters of residential dwellings referred to above are separated from the application site by either woodland blocks and/or agricultural fields with tree and hedges at their perimeter. The distance between the site's perimeter, at the closest point, from these two clusters of properties is approximately 150m.

The main impacts anticipated would be the visual change to the fields, potential noise that may arise from the ancillary equipment required for the transfer/conversion of solar energy from the PVP into transformers, any potential perceived loss of privacy as a result of any CCTV that may be proposed and an increase in traffic as a result of the maintenance or other operational requirements of the solar farm.

With regards to the impacts on visual change and potential impacts to outlook, the proposed PVP and ancillary equipment would not be sited immediately adjacent to the boundary of the site, they would be set in from it. Additionally, neighbouring residential dwellings would be at a reasonable distance from the site, as previously stated (with only Ivy Cottage relatively close). It is acknowledged that some of these dwellings would achieve views of the PVP through the perimeter landscape of the site from their upper-level windows (e.g., Ivy Cottage).

However, because of distances involved and the partial screening offered by the landscape conditions of the locality, the visual impacts anticipated would not amount to be detrimental to their living conditions. The impacts to outlook would be in specific directions and where the perimeter landscape is weak. Upper floor level windows would still mainly benefit from a countryside outlook.

With regards to noise nuisance, such impact could arise as a result of the transformers/cabinets proposed, it is noted that the site layout proposed locates this equipment far away from the neighbouring residential properties. In this regard it is notable that the Environmental Health Officer (EHO) did not raise concerns in this respect based on the position of ancillary equipment within the site and resulting distance to residential receptors. On this basis therefore, the proposal is unlikely to cause any unacceptable noise nuisance.

The submission indicates there would be CCTV installed, the specific position of all the columns and direction of view of the CCTV has not been provided. If this application is supported by Council, a condition could be included to secure the details of position/ height and direction of view of the CCTV to ensure it has no impact on privacy for nearby residents.

Finally with regards to traffic, the main impacts in this respect would be during the construction period (approx. 4 months) as there would be movements of articulated lorries delivering the PVP and associated equipment (28 no. two-way daily vehicle movements accessing the site via Reading Road). This increase in traffic and potential noise arising as a result of the construction process is acknowledged however it would only be temporary and would not warrant the refusal of the application.

The information submitted states that after construction, at the operational stage, the only vehicles coming into the site would be one vehicle (light van or 4x4 vehicles) for monitoring and maintenance purposes at a rate of approximately 2-4 visits per month. This would not be detrimental to neighbouring residential properties.

Based on the above assessment, no concerns are raised in terms of any demonstrable detrimental impacts upon residential amenity such as to materially conflict with the objectives of saved policy GEN1 of the HLP06 or the NPPF in this regard.

HIGHWAY SAFETY, ACCESS AND PARKING

Policy INF3 of the HLP32 states that development should promote the use of sustainable transport modes prioritising walking and cycling, improve accessibility to services and support the transition to a low carbon future.

Saved policy GEN1 of the HLP06 supports developments that do not give rise to traffic flows on the surrounding road network which would cause material detriment to the amenities of nearby properties and settlements or to highway safety.

Paragraph 111 of the NPPF 2021 advises that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

In terms of impacts arising from the development to the operation of the highway network, the Local Highway Authority (LHA) has assessed the proposal and has raised no objection. The Construction Traffic Management Plan identifies the construction routes proposed by the applicant, namely:

From the north – via the A33, The Causeway and Reading Road (B3344);
from the east – via Bramshill Road, the B3011 and Reading Road (B3344);
from the south - via Reading Road (B3344).

In terms of the site access used at construction stage, the existing access along Reading Road (B3344) would be used. At operational stage, the accesses along the un-named road the north boundary of the site fronts onto, would be used for maintenance purposes. The submission includes speed surveys, calculations of visibility splays and swept paths analysis. All of the details are considered acceptable by the LHA.

Therefore, subject to planning conditions to implement the information submitted, the development would comply with the objectives of Policy INF3 of the HLP32, saved policy GEN1 of the HLP06 and paragraph 111 of the NPPF 2021.

FLOOD RISK AND DRAINAGE

Policy NBE5 of the HLP32 sets out five criteria when development would be permitted, in this case the applicable criteria for this proposal are:

- Over its lifetime it would not increase the risk of flooding elsewhere and will be safe from flooding;
- If located within an area at risk from any source of flooding, now and in the future, it is supported by a site-specific flood risk assessment and complies fully with national policy including the sequential and exceptions tests where necessary;
- Within Causal Areas (as defined in the SFRA) all development takes opportunities to reduce the causes and impacts of flooding.

Environment Agency flood mapping indicates that the application site lies entirely within Flood Zones 1, 2 and 3. The submission provided a Flood Risk Assessment, which has been assessed by the Environment Agency (EA) and the Local Lead Flood Authority (LLFA).

The EA initially requested additional information seeking clarification about any loss of flood storage as a result of the proposal within a range of futures flood events (extreme ones and climate change) and how any loss would be compensated/replaced. The applicant was also required to demonstrate how the development (essential infrastructure) met the exception test to make it safe from flooding impacts.

The applicant undertook hydrology and hydraulic modelling demonstrating that the development would be safe from future flooding impacts and that it would not increase flooding risks elsewhere. The EA has ultimately raised no objection to the proposal subject to planning conditions concerning implementation of flood risk information submitted and details of security fencing.

The LLFA assessed the drainage system proposed and confirmed that subject to planning conditions requesting compliance with the flood risk information submitted, they have no

objection.

On this basis, the proposal is acceptable and complies with the objectives of Policy NBE5 of the HLP32, Policy NE03 of the RNP and the aims of the NPPF in this regard.

ECOLOGY/ TREES

With regards to biodiversity, Policy NBE4 of the HLP32 states that: 'In order to conserve and enhance biodiversity, new development will be permitted provided:

- a) It will not have an adverse effect on the integrity of an international, national or locally designated sites.
- b) It does not result in the loss or deterioration of irreplaceable habitats, including ancient woodland and the loss of aged or veteran trees found outside ancient woodland, unless the need for, and benefits of, the development in that location clearly outweigh the loss;
- c) opportunities to protect and enhance biodiversity and contribute to wildlife and habitat connectivity are taken where possible, including the preservation, restoration and re-creation of priority habitats, ecological networks and the protection and recovery of priority species populations. All development proposals will be expected to avoid negative impacts on existing biodiversity and provide a net gain where possible'.

The Council's Ecologist assessed the information submitted and considered it necessary to require clarification on Biodiversity Net Gain. The information requested was provided and the habitat creation proposed along with additional landscape of the site would result in a realistic Biodiversity Gain on the site. On this basis the Ecology Officer recommended conditions and requested the submission of a construction environmental management plan.

As such the proposal would meet the objectives of Policy NBE4 of the HLP32 and the aims of the NPPF in this regard.

In terms of trees, saved policy CON8 of the HLP06 states that where development is proposed which would affect trees, woodlands or hedgerows of significant landscape or amenity value planning permission will only be granted if these features are shown to be capable of being retained in the longer term or if removal is necessary new planting is undertaken to maintain the value of these features. Planning conditions may be imposed to require the planting of new trees or hedgerows to replace those lost.

The existing trees on site do not benefit from any statutory protection, however the submitted arboricultural information makes clear that the installation of the PVPs would not require tree removals as they need to be located away from the mature trees on the site to avoid overshadowing. It also indicates there is plenty of opportunity to provide landscaping, this would be secured by planning conditions if the proposal is supported by Council.

As such, there is no objection to the proposal in tree terms and subject to planning conditions it would comply with Policy NBE2 of the HLP32, saved policy CON8 of the HLP06, Policies and the aims of the NPPF in this regard.

CLIMATE CHANGE

On 29th April 2021 Hart District Council agreed a motion which declared a Climate Emergency in the District. Policy NBE9 of the HLP32 requires proposals to demonstrate that they would:

- i) reduce energy consumption through sustainable approaches to building design and layout, such as through the use of low-impact materials and high energy efficiency; and
- j) incorporate renewable or low carbon energy technologies, where appropriate.

The submitted application fully addresses the requirements of this adopted policy as it would convert solar energy into electricity. This energy would be stored on site and would ultimately be exported to the National Grid. The proposal would contribute significantly to addressing climate change. The supporting information submitted with the application outlines that the proposal would have a maximum output of 17.87MW, which would be capable of powering approximately 6,700 homes and would result in an approximate saving of 4,500 tonnes of carbon dioxide emissions (CO₂) per annum.

The proposal therefore fully meets the requirements of Policy NBE9 of the HLP32, and the aims of the NPPF in terms of sustainability/renewable or low-carbon energy technologies to address climate change.

EQUALITY

The Council has a duty to promote equality of opportunity, eliminate unlawful discrimination and promote good relations between people who share protected characteristics and those who do not under the Equalities Act. The application raises no concerns about equality matters.

OTHER PLANNING CONSIDERATIONS

- Loss of Agricultural Land

Paragraph 174 of the NPPF requires, among other requirements, that planning decisions should contribute to enhance the natural and local environment by recognising the intrinsic character and beauty of the countryside, and the wider benefits from natural capital and ecosystem services - including the economic and other benefits of the best and most versatile agricultural land, and of trees and woodland.

The appellant's agricultural land classification report identifies the site as moderate agricultural land as it acknowledges that the site comprises soil falling within the 3b and 4 classifications. In this respect the site does not contain soil within the top 2 grades of agricultural land.

From the agricultural classification submitted with this application the site does not appear to have any particular agricultural attributes that would give an overriding and unusually high value. The loss of agricultural land use in this case for the operational period of 40 years, when considering the agricultural activity on the site and its contribution to food supply, would appear to be a negligible impact.

The limited conflict with the NPPF in this regard would be regarded immaterial in this respect.

- Glint and Glare

The proposal was accompanied by a glint and glare study which indicates that solar reflections are geometrically possible towards 77 out dwelling receptors. However, the reflections identified would be within acceptable limits due to their limited duration and the

existing landscape screening present.

Solar reflections were predicted along Reading Road; however, the position of the reflection would be outside of drivers' field of vision, as a result they would be considered acceptable.

An assessment was also undertaken for airplanes associated with Blackbushe, Farnborough and Odiham RAF but no impacts were anticipated that would require mitigation.

On this basis no concerns are raised in relation to Glint and Glare impacts.

PLANNING BALANCE

Section 70(2) of the Town and Country Planning Act 1990 ("TCPA 1990") provides that the decision-maker shall have regard to the provisions of the development plan, so far as material to the application. Section 38(6) of the Planning and Compulsory Purchase Act 2004 (as amended) requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

It is important to note the public benefits which would arise from this proposal, and these are as follows:

- Social benefits would arise as a result of the generation of electricity which can be exported to the National Grid which can then be used at local, regional or national level and would be capable of supplying electricity to 6,700 homes per annum.
- Economic benefits attracted by the proposal would be employment and local expenditure during the construction of the development and, to a limited extent, during the operational stage.
- Environmental benefits arising would result from the production of renewable energy that would offset approximately 4,500 tonnes of carbon dioxide emissions (CO₂) of per year.
- Biodiversity net gain as a result of the soft landscaping proposals associated with the development.

The dis-benefits and harm identified above are:

- The proposal would cause a low/minor local level of adverse harm to the visual amenity, landscape and scenic quality of Tinley Hall Landscape Character Area.
- The amenities for occupiers of surrounding dwellings to the site would be temporarily affected as a result of the construction works.
- The proposal would result in less than substantial harm (at the lower end of the spectrum of harm as defined by the NPPF) to designated heritage assets as a result of the change to their settings, but on a temporary basis (40 years).
- The proposal would result in the temporary loss of availability of agricultural land.

On balance, considering the benefits stated above against the harm identified and taking into account the advice on heritage assets in paragraphs 195, 199, 200 and 202 of the NPPF, the proposal would deliver public benefits on a scale to outweigh the limited harm identified.

The proposal would not conflict with the policy objectives of the HLP32 taken as a whole in relation to the principle of the development, heritage, neighbouring amenity, biodiversity/ ecology/ landscape, flood risk/ drainage, highways and sustainability. The application is also in accordance with the aims of the NPPF in these respects.

CONCLUSION

The application has been assessed against the development plan and relevant material considerations and it is recognised that the proposed development would result in some harm, most notably in respect of the visual landscape and less than substantial harm to designated heritage assets.

However, on balance, the substantial public benefits arising from this proposal in generating renewable energy and a biodiversity net gain would outweigh the identified harm and overall, the proposed solar farm would accord with the objectives of the development plan.

As such this application is recommended for approval subject to conditions.

RECOMMENDATION – GRANT subject to planning conditions.

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON:

To comply with Section 91 of the Town and Country Planning Act 1990 (as amended).

2. The development hereby permitted shall be fully implemented in accordance with the following plans/documents (including any mitigation/enhancement recommended therein):

Plans:

007016_01_Layout_Rev. E (Layout), 007016_03_BuildingSections (Building Sections), 10414-FPCR-ZZ-XX-DR-L-0001 Rev. P02 (Draft Landscape Strategy), 0001 Rev. P02 (Baseline Floodplain Extents), 0003 Rev. P02 (Baseline Flood Depths 1 in 100 Year +23% Climate Change), 0008 Rev. P01 (Baseline Sensitivity- Decreased Downstream Boundary (20%) 1 in 100 Year), 0009 Rev. P01 (Baseline Sensitivity- Increased Downstream Boundary (20%) 1 in 100 Year), 0010 Prev. P01 (Baseline Sensitivity- Increased Roughness (20%) 1 in 100 Year), 0011 Prev. P01 (Baseline Sensitivity- Decreased Roughness (20%) 1 in 100 Year),

Documents:

Planning Statement/Statement of Community Involvement Rev. 02 produced by Stantec (October 2021).

Design & Access Statement produced by Enviromena Asset Management UK Ltd (October 2021)

Heritage Assessment Rev. P01 produced by BWB Consulting (October 2021)

Agricultural Land Classification produced by Soil Environment Services Ltd (October 2021)

Landscape and Visual Appraisal produced by FPCR Environment and Design Ltd Rev. A (October 2021)

Ecological Assessment Report produced by Avian Ecology Issue F2 (December 2021)

Biodiversity Management Plan produced by Avian Ecology Issue V1 (December 2021)

Biodiversity Metric V. 3 produced by A. Logan MSc MCIEEM (November 2021)

Arboricultural Survey Report produced by Barton Hyett Associates (October 2021)

Flood Risk Assessment Rev.P02 produced by BWB Consulting (January 2022)

Technical Note- Hydraulic Modelling Rev. P02 produced by BWB Consulting (May 2022)

NGSA Modelling and Mapping Framework Rev. 1 (April 2022)

Construction Traffic Management Plan produced by Cotswold Transport Planning Issue 01(October 2021)

Technical Note- PR-QMS-801 (Satisfaction, Commendations & Complaints produced by Enviromena Asset Management UK Ltd (December 2021)

Land Contamination Report produced by Argyll Environmental (November 2021)

Solar Photovoltaic Glint and Glare Study produced by Enviromena Asset Management UK Ltd Issue 2 (October 2021)

REASON:

To ensure that the development is carried out in accordance with the approved details and in the interest of proper planning.

3. This permission shall be for a limited period of 40 years, starting from the date when electricity is first exported from the site to the National Grid (First Export Date).

Written confirmation of the First Export Date shall be submitted in writing to the Local Planning Authority a month prior to it taking place.

No later than 40 years after the First Export Date all operations and/or activities on site shall cease.

REASON:

In the interests of the landscape/ scenic quality of the area and to prevent the retention of a development in the countryside when there is no longer a benefit in sustainability terms and/or contribution towards reducing the reliance on fossil fuels and offsetting the associated environmental impacts in accordance with Policies NBE1 and NBE2 of the Hart Local Plan (Strategy and Sites) 2032, saved local policy GEN1 of the Hart District Local Plan 1996-2006, and the aims of the NPPF 2021.

4. Any operational development carried out above, on, or underground to enable the implementation or operation of the solar farm hereby approved, shall be removed together with any equipment, structures or paraphernalia and the land shall be restored to its former condition/use as agricultural land on or before the 40 years of the first export date.

REASON:

In the interests of the landscape/ scenic quality of the area and to prevent the retention of a development in the countryside when there is no longer a benefit in sustainability terms and/or contribution towards reducing the reliance on fossil fuels and offsetting the associated environmental impacts in accordance with Policies NBE1 and NBE2 of the Hart Local Plan (Strategy and Sites) 2032, saved local policy GEN1 of the Hart District Local Plan 1996-2006, and the aims of the NPPF 2021.

5. No later than 12 months prior to the expiry of the limited period referred to in condition no.3, or 12 months prior to the permanent cessation of operations of the development hereby approved, whichever is soonest, a de-commissioning method statement together with a restoration plan for the land including timetable for implementation of the details shall be submitted to and approved in writing by the Local Planning Authority.

The decommissioning method statement and restoration plan for the land shall be fully implemented as per the agreed details in accordance with any agreed timetable.

REASON:

In the interests of the landscape/ scenic quality of the area and to prevent the retention of a development in the countryside when there is no longer a benefit in sustainability terms and/or contribution towards reducing the reliance on fossil fuels and offsetting the associated environmental impacts in accordance with Policies NBE1 and NBE2 of the Hart Local Plan (Strategy and Sites) 2032, saved local policy GEN1 of the Hart District Local Plan 1996-2006, and the aims of the NPPF 2021.

6. No development shall commence on site until details of a construction environmental management plan are submitted to and approved in writing by the Local Planning Authority to demonstrate how the construction of the development would be dealing with environmentally sensitive areas, their aftercare and maintenance together with a plan detailing the works to be carried out showing how the environment will be protected during the works.

This shall include how construction activities would be controlled /managed to avoid adverse impacts on nearby Sites Importance for Natural Conservation, trees/hedgerows within/adjacent the site. The details approved shall be fully implemented and retained for the duration of the works.

REASON:

To protect the ecology/biodiversity of the area and to ensure adequate highway and site safety in accordance with policies NBE4, NBE11 and INF3 of the Hart Local Plan (Strategy and Sites) 2032, saved local policy GEN1 of the Hart District Local Plan 1996-2006, and the aims of the NPPF 2021.

7. Notwithstanding the details submitted with the application, no construction for any below-ground operational development for the foundations or supporting structures of the development hereby approved shall take place, until details of specific depth and width for each foundation and supporting structure has been submitted to and approved in writing by the Local Planning Authority. Once approved, the scheme shall be carried out in accordance with the approved details.

REASON:

Insufficient details were submitted with the application and are required in order to understand the extent of foundations and supporting structures in the interests of proper planning and for the avoidance of doubt.

8. Notwithstanding any information submitted with this application, no development above slab or foundation level shall commence until details of CCTV columns, cameras, equipment and associated works has been submitted to and approved in writing by the Local Planning Authority. Once approved, the development shall be implemented in accordance with the agreed details.

REASON:

In the interests of visual and residential amenity in accordance with Policies NBE1 and NBE2 of the Hart Local Plan (Strategy and Sites) 2032, saved local policy GEN1 of the Hart District Local Plan 1996-2006 and the aims of the NPPF 2021.

9. Notwithstanding any information submitted with this application, no development above slab or foundation level shall commence until details of any security fencing within the site and along its perimeter has been submitted to and approved in writing by the Local Planning Authority.

Any security fencing located within an area at risk of flooding, as indicated in approved information under condition no. 2 above, will be designed to be permeable to flood waters.

The details shall be implemented as approved before any part of the development hereby approved is operational.

REASON:

In the interests of the landscape/ scenic quality of the area and flood mitigation in accordance with Policy NBE2 and NBE5 of the adopted Hart Local Plan (Strategy and Sites) 2032, saved local policy GEN1 of the Hart District Local Plan 1996-2006, and the aims of the NPPF 2021.

10. Notwithstanding any information submitted with this application, no development above slab or foundation level shall commence until details of a comprehensive soft landscape strategy and a long-term landscape management plan has been submitted to and approved in writing by the Local Planning Authority.

The soft landscape shall robustly reinforce the perimeter of the site, particularly the sections with weak or lack of landscaping, the details shall include native species, quantity of trees and mix species.

Landscape plans to include detailed schedule of plants/hedgerows/trees (scientific names), details of species, sizes, quantities/density of plants and implementation schedule of landscape proposals.

The landscape strategy as approved shall be implemented in the next planting season following the approval of the details and the long-term landscape management plan shall be implemented for the lifetime of the development.

Any trees or plants which, within a period of five years after approved completion, are removed, die or become, in the opinion of the local planning authority, seriously damaged or defective, shall be replaced as soon as is reasonably practicable with others of similar species, size and number as originally approved.

REASON:

In the interests of the landscape/ scenic quality of the area in accordance with Policy NBE2 of the adopted Hart Local Plan (Strategy and Sites) 2032, saved local policy

GEN1 of the Hart District Local Plan 1996-2006, and the aims of the NPPF 2021.

11. No external lighting shall be installed at the site unless full details of a lighting scheme has been submitted to and approved in writing by the Local Planning Authority. Once approved, the lighting scheme shall be carried out in accordance with the agreed details.

REASON:

To minimise impacts of light pollution on protected species sensitive to lighting and in the interest of the rural character of the locality, in accordance with Policies NBE2 and NBE4 of the Hart Local Plan (Strategy and Sites) 2032 and the aims of the NPPF 2021.

12. Notwithstanding the details submitted with the application, prior to the first export date, the applicant shall submit details of mechanisms for maintenance of electrical elements and an overall fire safety precaution statement for the development.

REASON:

Insufficient details were submitted with the application and are required in order to understand the potential fire safety implications, in the interests of protecting the mature on-site landscape in accordance with Policy NBE2 of the adopted Hart Local Plan (Strategy and Sites) 2032, saved local policy GEN1 of the Hart District Local Plan 1996-2006, and the aims of the NPPF 2021.

13. The visibility splays agreed and contained within the Construction Traffic Management Plan listed in condition no.2 shall be kept free of any obstruction exceeding 0.60m in height above adjacent carriageway and shall be subsequently maintained so thereafter.

REASON:

In the interests of highway and site safety in accordance with Policy INF3 of the Hart Local Plan (Strategy and Sites) 2016-2032, and the aims of the NPPF 2021.

14. No raising of existing ground floor levels within areas of the site identified to be at risk of flooding in the approved flooding information approved under condition no.2 shall take place at any time.

REASON:

In the interests to prevent flooding elsewhere in accordance with Policy NBE5 of the adopted Hart Local Plan (Strategy and Sites) 2032, saved local policy GEN1 of the Hart District Local Plan 1996-2006, and the aims of the NPPF 2021.

15. Notwithstanding any information submitted with this application, no development, construction work or delivery of materials shall take place at the site except between 08:00 hours to 18:00 hours on weekdays or 08:00 to 13:00 hours on Saturdays. No development, demolition/construction work or deliveries of materials shall take place at any time on Sundays or Public Holidays.

REASON:

To protect the residential amenity of adjoining/nearby residential occupiers and to satisfy Policy NBE11 of the Hart Local Plan and Sites (2016-2032), saved local Policy GEN1 of the Hart District Local Plan 1996-2006 and the aims of the NPPF 2021.

INFORMATIVES

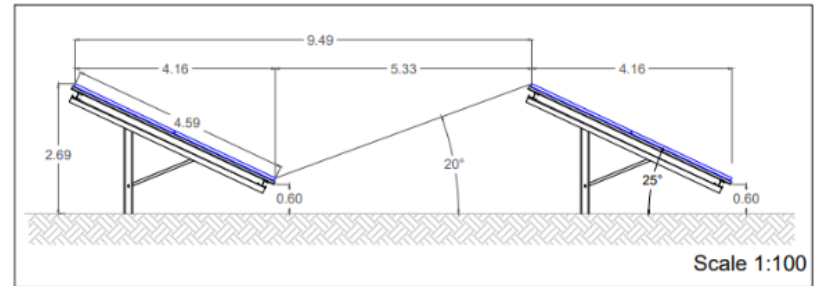
1. The Council works positively and proactively on development proposals to deliver sustainable development in accordance with the NPPF. In this instance, the applicant was advised of the necessary information needed to process the application and revisions were accepted to address concerns raised, once received, further engagement with the applicant was required and the application was subsequently made acceptable.



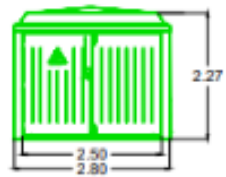
SITE AS EXISTING



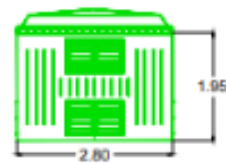
SITE LAYOUT



PANELS' SECTION



FRONT ELEVATION

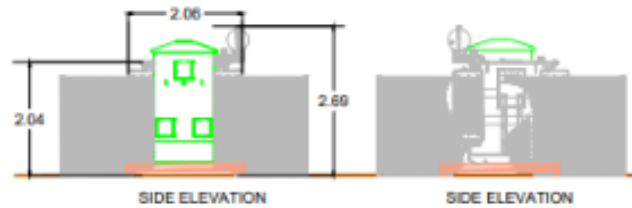


REAR ELEVATION



SIDE ELEVATION

CUSTOMER SWITCHGEAR / T BOOT ENCLOSURE (1 No.)

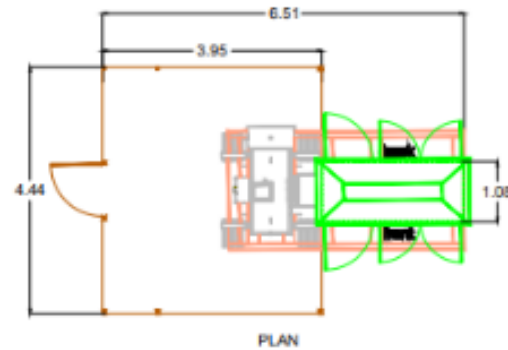


SIDE ELEVATION

SIDE ELEVATION

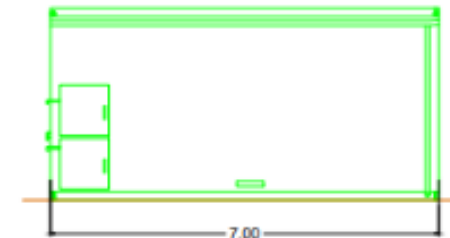


FRONT ELEVATION



PLAN

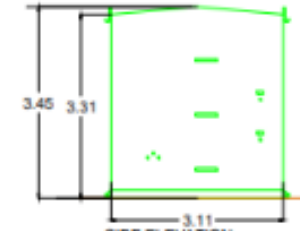
TYPICAL LV SWITCH / TRANSFORMER (3 No.)
Feeder Pilar Enclosure
Transformer within Fenced Enclosure



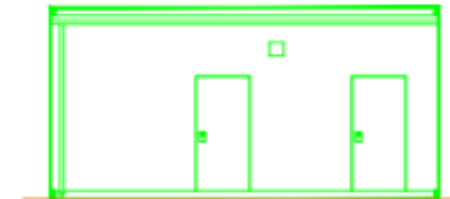
BACK ELEVATION



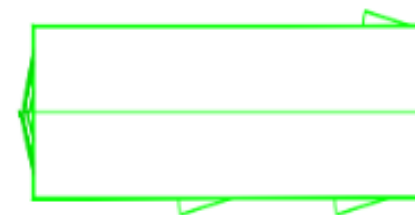
SIDE ELEVATION



SIDE ELEVATION



FRONT ELEVATION



PLAN

TYPICAL DNO SUBSTATION ENCLOSURE (1 No.)

ANCILLARY EQUIPMENT



Location of site

Unnamed Road

Photo Viewpoint 1: View from unnamed road looking south into the site's northern fields through existing farm access.

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Location of site

Unnamed Road

SITE'S VIEWS ALONG NORTHERN BOUNDARY



SITE'S VIEW ALONG NORTHERN BOUNDARY



SOUTHWARD VIEW ALONG MALTHOUSE LANE

Location of the site
(beyond vegetation)

Horitas Loci
(plant nursery)

Vicarage lane



Page 75

Vicarage Lane

Location of site
(behind vegetation)



VIEWS TOWARDS APPLICATION SITE FROM VICARAGE LANE

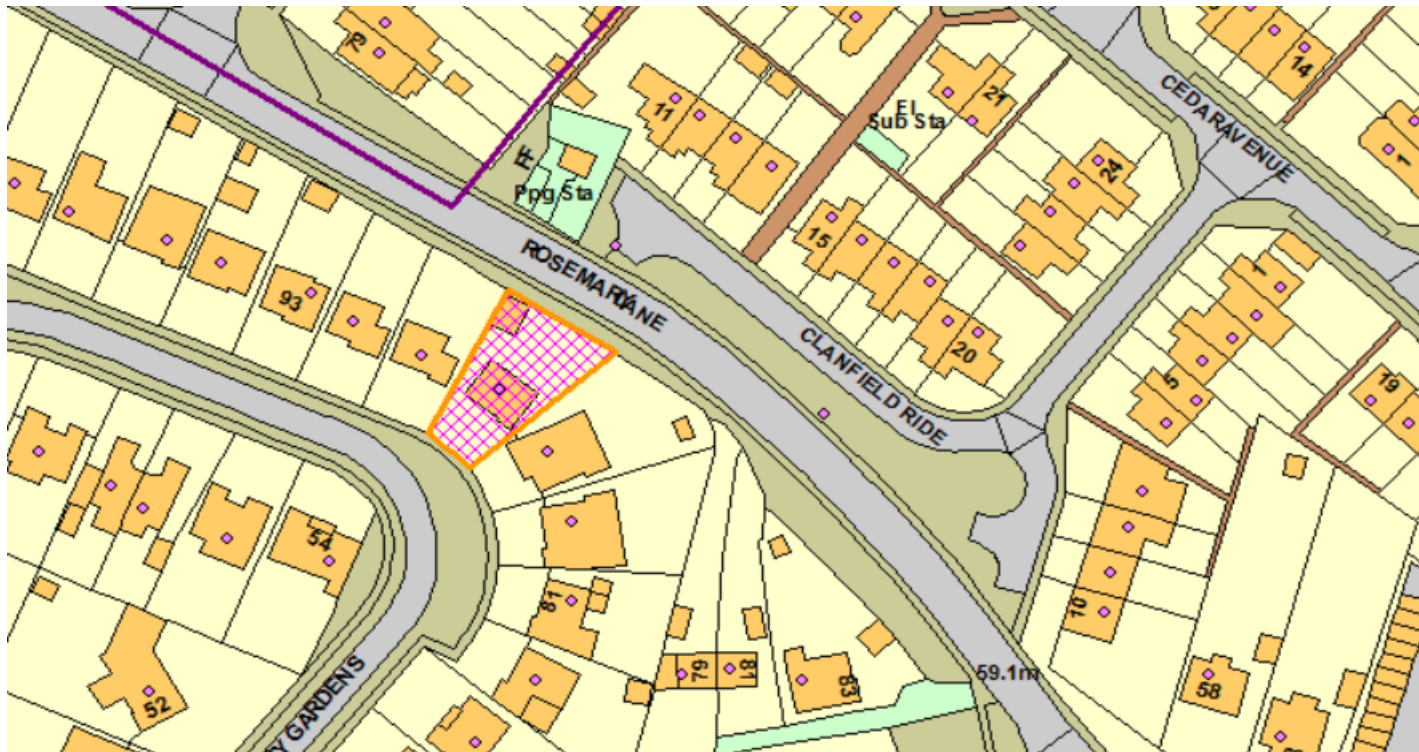


VIEWS TOWARDS APPLICATION SITE FROM LAND SOUTH OF VICARAGE LANE

COMMITTEE REPORT ITEM NUMBER 8:

APPLICATION NO.	22/00197/HOU
LOCATION	87 Rosemary Gardens Blackwater Camberley GU17 0NJ
PROPOSAL	Erection of a first floor front, part single part two storey rear extension, replacement of garage flat roof with pitched roof, insertion of skylight into main roof and insertion of doors and windows into side elevation.
APPLICANT	Mr Keith Baker
CONSULTATIONS EXPIRY	1 March 2022
APPLICATION EXPIRY	4 April 2022
WARD	Blackwater
RECOMMENDATION	Grant

Location Plan



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Background

The application is being presented at the Planning Committee as there have been five objections from members of the public and an objection from Blackwater and Hawley Parish Council.

The Site

87 Rosemary Gardens is a detached dwelling with an attached garage. The property is located on the eastern side of Rosemary Gardens.

There is a mix of dwelling types in the vicinity of the application property, ranging from detached and semi-detached bungalows to detached and semi-detached two storey dwellings. Although, the designs of the properties vary, they are of similar character and period as the application property.

There is a change in the application site ground levels and the land slopes downwards in an easterly direction. The application property and the adjoining properties, Nos. 85 and 89 Rosemary Gardens, are more or less at the same level, as their rear garden areas slope downwards towards Rosemary Lane, the change in levels is quite noticeable and the dwellings are set approximately one metre higher than their rear gardens.

The plot is irregular in shape, essentially a 'wedge' shape and the rear garden at its widest point has a width of approximately 21 metres.

There is a crossover, grass verge and footpath between the application property and the highway. There is a mature tree planted within the grass verge.

The frontage is open and laid to lawn and of hardstanding with adequate parking for two/three vehicles. It is set within a causal flood zone in the urban settlement of Blackwater and Hawley, but it is not in a Conservation Area, nor subject to any Article 4 Direction.

Planning History

Single storey rear extension and two-storey rear and side extensions all with pitched roofs and rooflights. 18/01032/HOU Refused 13.09.2018

Erection of a first-floor front, part ground floor part first floor side and two storey rear extension, insertion of doors and windows into side elevation and replacement of front door, garage door and ground floor front window. 21/00148/HOU Refused 18.03.2021

The Proposal

Erection of a first-floor front, part single part two-storey rear extension, replacement of garage flat roof with pitched roof, insertion of skylight into main roof and insertion of doors and windows into side elevation.

The proposed rear extension measures approximately 4.0 metres in length, 10.2 metres in width and 6.5 metres in height. The proposed alteration to the roof form would be an increase of 1.7 metres in height.

Planning Policy

The Development Plan locates the application site within the settlement policy boundary of Blackwater and Hawley.

National Planning Policy Framework (NPPF) (July 2021)

Section 12 (Achieving well-designed places)
Section 15 (Conserving and enhancing the natural environment).

Hart Local Plan (Strategy and Sites) 2016-2032

NBE4 (Biodiversity)
Policy NBE9 (Design)
Policy INF3 (Transport)

Hart District Local Plan (Replacement) 1996-2006 Saved Policies

GEN1 (General policy for development);

Other Guidance

Planning Practice Guidance
Parking Provision Interim Guidance (2008)
BRE Report - Site layout planning for daylight and sunlight: a guide to good practice (2011)

Consultee Responses

Blackwater and Hawley Parish Council

OBJECTION

Councillors note the similarity to application 21/00148/HOU and reiterate Planning Officers reasons for its refusal as follows:

By virtue of its siting, design and scale, the proposed side/rear two-storey extension would be dominant to adjacent properties leading to light loss to the side windows of 85 Rosemary Gardens. The proposal would therefore be detrimental to amenities of occupants of this neighbouring property. As such, the proposal is contrary to Policy NBE9

(Design) of the Hart Local Plan: Strategy and Sites 2016-2032, saved Policy GEN1 of the Hart District Local Plan (Replacement) 1996-2006 (and First Alterations) and Section 12 of the National Planning Policy Framework (2019).

The proposed development, by virtue of its scale, massing and bulk would form a discordant development that would fail to integrate into the established modest dwelling and would not sustain or improve the urban design qualities of the area or respect the character of the surrounding built environment. As such, the proposal would be contrary to the National Planning Policy Framework 2019, Policy GEN1 of the Hart District Local Plan (Replacement) 1996-2006 Saved Policies, Policy NBE9 of the Hart Local Plan (Strategy & Sites) 2032.

Neighbour Comments

Five objections have been received from members of the public raising the following issues:

Overlooking and Loss of Privacy.

Design not in keeping with the look of the road.

Impact on water and sewage facilities.

Parking impact and additional traffic generation causing more noise and disturbance to neighbouring property.

Risk to tree being lost.

Visual impact.

Concern the property will accommodate multi rentals.

Size, Layout and density of buildings.

Assessment

Principle of Development

The site is located within the urban settlement boundary of Blackwater and Hawley; it is therefore considered that the principle of development is acceptable, subject to compliance with development plan policies and other material planning considerations.

Design and Visual Impacts

Local Plan Policy NBE9 and saved policy GEN1 state that development should be permitted where the proposal is well designed, is in keeping with the local area and sympathetic to the existing dwelling.

This proposal although similar to that refused 21/00148/HOU on 18.03.2021, has removed the first-floor extension above the garage removing the concern of a terracing effect.

Revised Plans were submitted and accepted on the 27.6.22 altering the east side elevation of the proposal.

The proposed two storey rear extension would be in keeping with the host property and of a scale that is sympathetic to the existing dwelling. The extension would be viewed in context with the existing dwelling and given the application site is located within an urban area, wherein there is a variation of dwelling types and sizes within the vicinity the resultant dwelling would not appear incongruous within the street scene.

The two-storey front extension gable frontage is set down in height from the existing ridge and would not result in an incongruous addition, nor would it be unacceptable such as to warrant its refusal.

The alteration of roof form to the garage would result in a subservient relationship with the host dwelling. The porch extension is a modest and acceptable addition.

The installation of windows to the first-floor elevations would serve en-suites and a bathroom and would be obscured glazed. The installation of windows and door to side elevation and rooflights within the rear roofslope would be considered a modest and acceptable alteration.

Although the proposal adds bulk to the host dwelling and involves a change to the dwelling's appearance; it would satisfactorily integrate with its surroundings. It would not give rise to any unacceptable impacts on the overall character and appearance of the area and would not look out of place. The design would be in keeping with the appearance of the main dwellinghouse.

The proposed development overall would increase the footprint of the dwelling but would not be unduly excessive. The dwelling has the benefit of a moderate size rear garden area and as such the extension would not result in overdevelopment of the site or an unacceptable loss of green amenity space.

Sufficient space would remain around the application site and as such the proposed development would not result in a cramped appearance, nor an unacceptable loss of amenity space. The materials in the construction of the development have been considered acceptable.

Overall, the proposed development is considered acceptable in scale and design and would not give rise to any demonstrable harm to the character and appearance of the area.

Impacts upon Amenity

Policy GEN1 of the HLP06 emphasises that sustainable development should be permitted provided that the proposal does not result in any material loss of amenity to adjoining neighbours, among other considerations.

Given the orientation and size of the plot, the proposal, the siting and the intervening boundary treatments with the adjoining properties, it is considered that the proposed development would not have an unacceptable impact on the residential amenities of neighbouring occupiers by virtue of overbearing impact, overshadowing, loss of light or overlooking. Therefore, the proposal is not considered to detract from the amenities of the neighbouring properties.

The proposed extensions are therefore considered acceptable in terms of neighbouring amenity.

Highway Safety, Access and Parking

Policy NBE9 of HLP32 requires proposals to provide well-design and sufficient areas for parking and cycle storage together with suitable access. Policy INF3 of the HLP32 requires proposal to provide appropriate parking provision, cycle and bin storage. These are echoed by the policy requirements of Saved Policies GEN 1 and T14 of the HLP06.

The proposed development would result in an increase in the number of bedrooms at the property from three to four. The parking interim guidance requires 3.5 parking spaces to be provided on-site. A parking plan was submitted which shows four parking spaces. However, the garage space dimensions are 2.6 metres x 5.8 metres which falls short of the parking interim guidance internal measurements for a garage which are 3m x 6m. However, the frontage is 10 metres wide x 8 metres deep and could accommodate four cars within the frontage.

The proposal is therefore considered acceptable in terms of parking provision and given existing arrangements is considered unlikely to cause issues relating to highway safety or access.

Flood Risk and Drainage

Policy NBE5 of the HLP32 outlines that development will be permitted provided it would not increase the risk of flooding on or off-site and within Causal Areas (as defined in the SFRA) all development takes opportunities to reduce the causes and impacts of flooding, amongst other things.

The site is located within a causal flood area. A Flood Risk Assessment was submitted which outlines how the proposal would reduce the impact of flooding.

Ecology

Local Plan Policy NBE4 states that all developments should protect and enhance biodiversity. The Local Planning Authority has a duty under the Natural Environment and Rural Communities Act 2006 to have full regard to the purpose of conserving biodiversity, which extends to being mindful of the legislation that considers protected species and their habitats and to the impact of the development upon sites designated for their ecological interest.

The property appears to be of a modern (post 1960's) design located within a sub-urban area approximately 290m from the Blackwater River. There are hanging tiles on the front of the property which will be impacted as will the existing roof.

Given the age of the property and its location, a formal bat survey was not required for this application. However, advice via an informative could be provided as if a bat is subsequently discovered, works should stop immediately and Natural England be contacted, as further survey and / or licensing may be required for the works to proceed.

On the above basis, no objection has been raised on biodiversity grounds.

Climate Change and Equality

The proposed development will have no direct or significant impact on issues relating to Climate Change.

In determining this application, the Council, as required, had regard to its obligations under the Equality Act 2010. There has been no indication or evidence (including from consultation on the application) that the protected groups as identified in the Equality Act have, or will have, different needs, experiences, issues and priorities in relation to the particular planning application. Therefore, there would be no significant adverse impacts as a result of the proposed development on protected groups.

CONCLUSION AND RECOMMENDATION

The design and appearance of the proposal is acceptable and there would be no material loss of amenity to the neighbouring properties or harm to the street scene or character of the area. The development proposes drainage enhancements which support the Council's Climate Change targets. The proposal complies with the development plan as a whole which includes the Local Plan and Saved Policies.

The application is therefore recommended for approval subject to the conditions listed below.

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason

To comply with Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Location Plan
Block Plan
Revised Combined Plans received 27.6.22

Reason

For the avoidance of doubt and in the interests of proper planning.

- 3 The materials to be used in the construction of the external surfaces of the development hereby permitted shall be as described in the application form and as annotated on the plans submitted

Reason

To ensure a satisfactory visual relationship of the new development with the existing building and to satisfy Policy NBE9 of the Hart Local Plan (Strategy & Sites) 2016-2032 and Policy GEN1 of the Hart District Local Plan 1996-2006 (Saved Policies).

- 4 The first floor side facing windows (x3) on the side elevation (serving the en-suites / bathroom) shall be installed with obscured-glazing (to a minimum of industry standard level 3 obscurity) and shall be top-hung opening only. The window shall be installed and thereafter retained in this condition.

Reason

In the interests of neighbouring amenity to prevent overlooking and loss of privacy in accordance with Local Plan Policy GEN1 of the Hart District Local Plan (Replacement) 1996-2006 Saved Policies.

INFORMATIVES

- 1 The applicant is advised that under the Wildlife and Countryside Act 1981 and the Conservation of Habitats and Species Regulations 2017, bats are a protected species and it is illegal to intentionally or recklessly damage, disturb or destroy a bat or its habitat. If any evidence of bats is found on site, Natural England must be informed and a licence for development obtained from them prior to works continuing. For further information go to www.naturalengland.org.uk or contact Natural England (S.E. regional office) on 0238 028 6410.

- 2 You may require Building Regulations Consent and we advise that you should contact Building Control on 01252 398715.

- 3 Hart District Council has declared a Climate Emergency. This recognises the need to take urgent action to reduce both the emissions of the Council's own activities as a service provider but also those of the wider district. The applicant is encouraged to explore all opportunities for implementing the development approved by this permission in a way that minimises impact on climate change.

- 4 The Council works positively and proactively on development proposals to deliver sustainable development in accordance with the NPPF. In this instance: The applicant was advised of the necessary information needed to process the application and, once received, the application was acceptable and no further engagement with the applicant was required.

Block Plan



Combined Plans



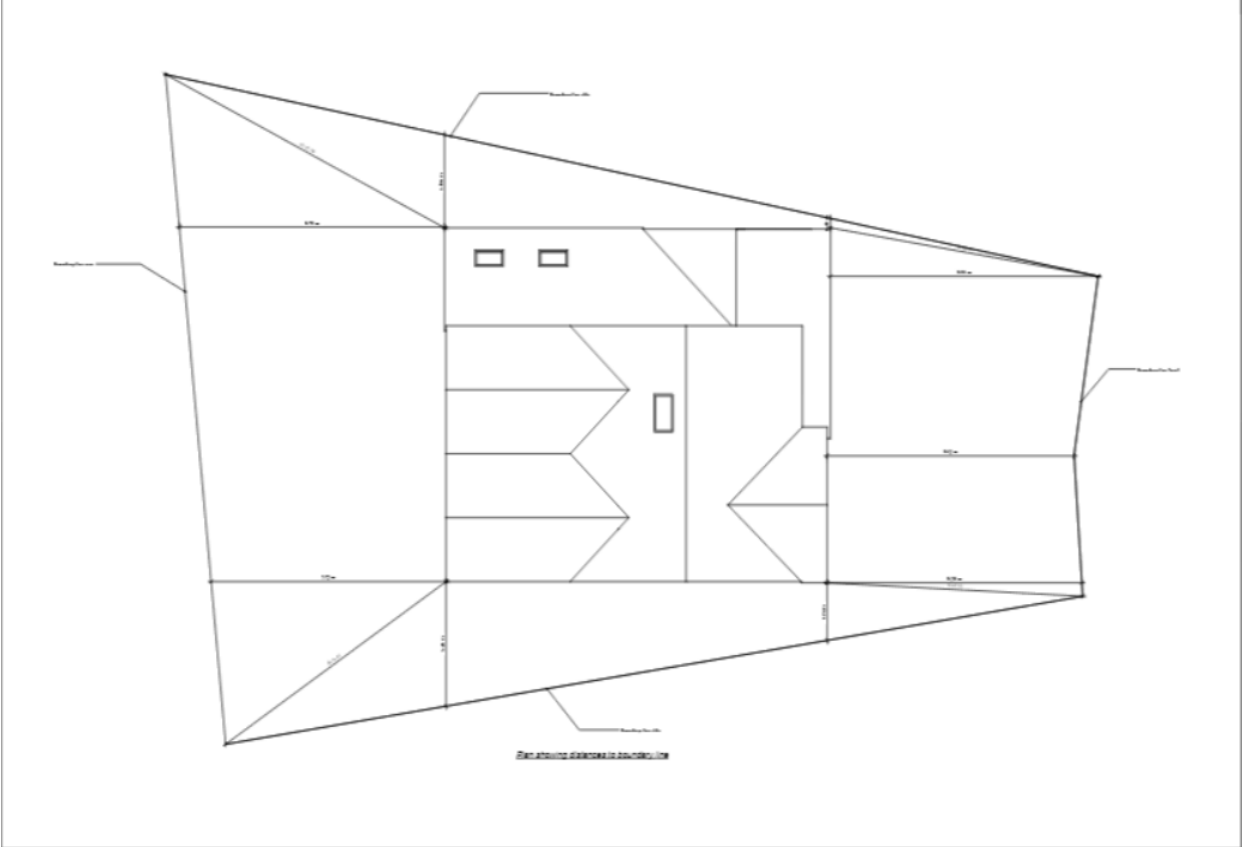
<p>General notes: Builder to verify all dimensions on site.</p>	<p>0 1 2 3 4 5 Meter</p>	<p>10/1/2018 27 Rosemary Gardens, Alcester, Warwick, CV17 9JL Proposed live storey, semi-detached with pitched roof. Approx. alterations on the first above garage including pitched roof.</p>	<p>Existing and proposed form and wall elevations All drawings scale 1:50 (A1) 1:100 (A2) Drawn By: C Norman Dec 2018</p>	<p>B U</p>
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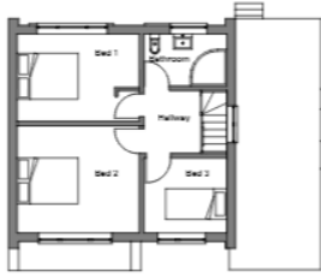
General notes: Guide to verify all dimensions on site.	 Meters	10/17/2021 27 Rosemary Gardens, Gloucester, Cambridge, GU11 2JU	Existing and proposed front and rear elevations All drawings scale 1:50 (A1) 1:100 (A2)	5 U
		Proposed two storey rear extension with pitched roof. Rear extension on the Rosemary lounge including pitched roof.	Drawn by: C Norman Dec 2021	



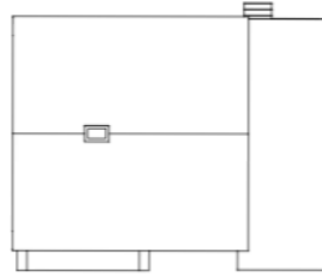
<p>General notes:</p> <p>Quoter to verify all dimensions on site.</p> <p>Parking space denoted by a P.</p>	<p>Meters</p>	<p>SP-K-2018</p> <p>27 Rosemary Gardens, Blackheath, Canterbury, GVT1 2JW</p>	<p>Existing and proposed front and rear elevations</p> <p>All drawings scale 1:50 (A1) 1:100 (A2)</p>	<p>b</p>
		<p>Proposed (see above) rear elevation with pitched roof.</p> <p>Rear elevation on flat (see above) lounge including pitched roof.</p>	<p>Drawn By: C Norman Dec 2021</p>	<p>U</p>



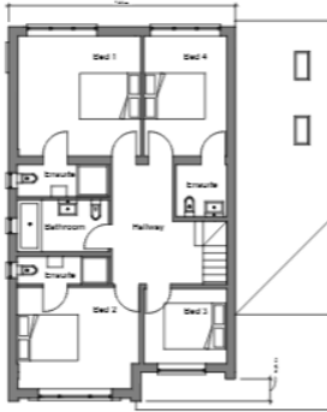
<p>General notes: Guide to verify all dimensions on site.</p>	<p style="text-align: center;">1:1000</p>	<p>10/1/2021 27 Rosemary Gardens, Blackheath, Canterbury, GUT/DU Proposed live along rear extension with pitched roof. Rear extension on the rear abate lounge including pitched roof.</p>	<p>Existing and proposed form and new extensions All drawings scale 1:50 (A1) 1:100 (A2) Drawn by: C Norman Dec 2021</p>	<p>B</p> <p>C</p>
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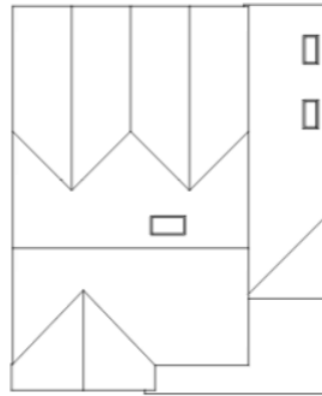
Existing first floor plan



Existing elevation



Proposed first floor plan



Proposed elevation

<p>General notes:</p> <p>Builder to verify all dimensions on site.</p>	<p>Meters</p>	<p>Site Name: 87 Rosemary Gardens, Gloucester, Camberley, GU17 0LW</p> <p>Proposed two storey rear extension with pitched roof. Part extension on first floor above lounge including pitched roof.</p>	<p>Quoting and proposed form and verifications</p> <p>All drawings scale 1:50 @A1 1:100 @A2</p> <p>Drawn By: C. Norman Date: 2021</p>	<p>B</p> <p>U</p>
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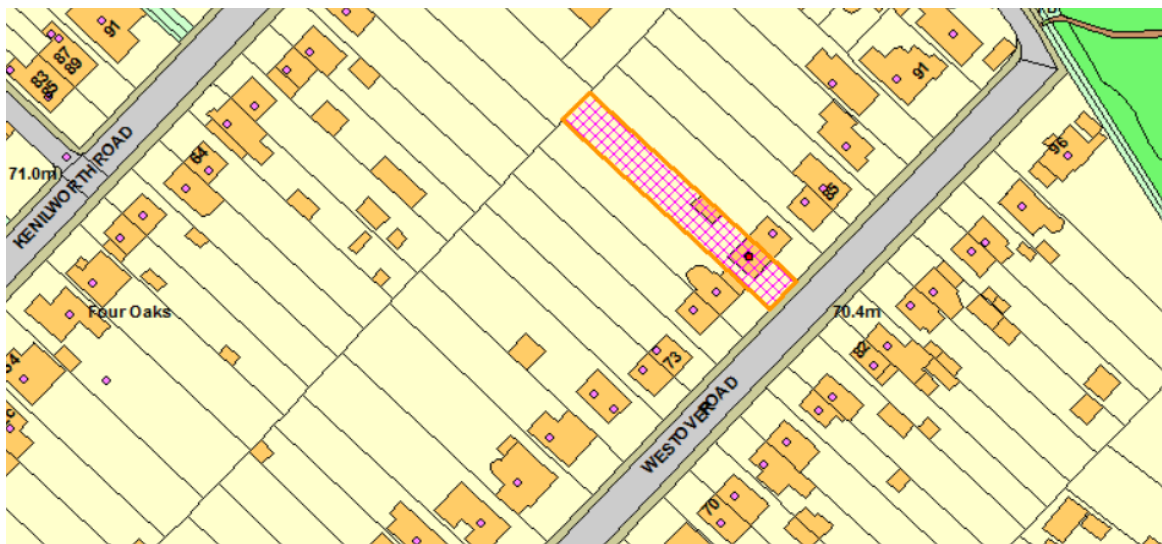


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<p>General notes</p> <p>Builder to verify all dimensions on site.</p>	<p>0 1 2 3 4 5 Meters</p>	<p>3D View</p> <p>07 Rosemary Gardens, Blackwater, Cambridge, GU17 0LW</p> <p>Proposed two storey rear extension with pitched roof. Rear extension on first floor above lounge holding pitched roof.</p>	<p>3D View front and rear (Proposed)</p> <p>All drawings scale 1:50 (A1) 1:100 (A2)</p> <p>Drawn By: C. Norman Date: 2021</p>	<p>8</p> <p>U</p>
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COMMITTEE REPORT ITEM NUMBER 9:

APPLICATION NO.	22/01164/HOU
LOCATION	79 Westover Road Fleet Hampshire GU51 3DE
PROPOSAL	Erection of a single storey side and rear extension and new front door and windows.
APPLICANT	Harris
CONSULTATIONS EXPIRY	16 June 2022
APPLICATION EXPIRY	21 July 2022
WARD	Fleet East Ward
RECOMMENDATION	Grant



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CONSULTEES RESPONSES

Fleet Town Council

NO OBJECTION in principle but

' Question of any impacts on neighbour with 5m+ extension to the rear ' will there be any loss of light to rear windows?

' Why timber cladding to side and back of side extension? Not part of the palette of the main house and no in keeping, would be better if design changed to match

' Surface water drainage to be taken to a SUDS system tank not a conventional soak away.

Ecology Consult (Internal)

No Objection.

Tree Officer (Internal)

The nature of the proposal is such that direct impact from construction proposals or working practices is unlikely to impact upon any significant mature trees. I raise NO OBJECTION on arboricultural grounds.

NEIGHBOUR COMMENTS

None received.

CONSIDERATIONS

BACKGROUND

The application is being presented at Planning Committee as the applicant is an employee of Hart District Council.

DESCRIPTION OF THE SITE

The application property is a two-storey semi-detached dwellinghouse with a hipped roof. It is set on a substantial rectangular level plot. The frontage is open with an area laid to lawn and gravelled driveway with space for the parking of two vehicles.

PROPOSAL

The application seeks planning permission for a single storey side and rear extension. The side extension would measure 1.2 metres in width, 5.6 metres in depth to the rear of the host dwelling. It would have a flat roof measuring 2.7 metres in height. The rear extension would measure 7.2 metres in width and would be staggered in depth measuring 5.4 metres in depth along the north-east elevation and 5 metres along the south-west elevation. The side extension would wrap around along the rear elevation. The flat roofed side extension would wrap around along the rear elevation by 2.4 metres adjoining a pitched roof element which would have a maximum height of approximately 3.7 metres. The proposed extension would include the installation of three rooflights. The materials will comprise of vertical timber cladding to the flat roofed side/ rear extension, matching brick work for the rear extension with a natural slate roof. Windows and doors are to be powder coated aluminium, although window colours have not been specified.

A revised drawing was received (proposed elevations N352 07 C) on 06.07.22 showing the north-east elevation as it was previously omitted.

RELEVANT PLANNING HISTORY

21/03070/HOU - Erection of a single storey side and rear extension and new front door and windows. Approved 08.12.2021.

This application seeks to re-locate the window on the front elevation (serving the WC) to the side elevation. The window is to be obscure glazed.

RELEVANT PLANNING POLICY

Hart Local Plan (Strategy & Sites) 2016-2032:

- SD1 Sustainable Development
- NBE4 Biodiversity
- NBE9 Design

Hart District Local Plan (Replacement) 1996-2006 'saved' policies:

- GEN1 General Policy for Development
- CON8 - Trees, Woodlands & Hedgerows: Amenity Value

Fleet Neighbourhood Plan 2018-2032

- Policy 10 General Design Management policy
- Policy 19 Residential Parking

Other Material Documents

- The National Planning Policy Framework (2021)
- Urban Characterisation and Density Study (2010)
- Hart's Parking Provision Adopted Interim Guidance (2008)
- The Town and Country Planning (General Permitted Development) (England) Order (2015)
- BRE Report - Site layout planning for daylight and sunlight: a guide to good practice (2011)

CONSIDERATIONS

Principle of Development

The application site is situated within the settlement of Fleet where there is a presumption in favour of sustainable development provided that the proposal is in compliance with development plan policies and that no unacceptable harm to residential amenity, the environment, highway safety or any other material planning considerations arise.

Therefore, in principle, the proposal is considered an acceptable form of residential development.

Design and Visual Impacts

The acceptability of the proposal is required to have regard to Policy GEN1 and NBE9 of the Local Plan which state that all developments should seek to achieve a high quality design and positively contribute to the overall appearance of the local area and are in keeping with the local character by virtue of their scale, design, massing, height, prominence, materials, layout, landscaping, siting and density.

GEN1 also emphasises that sustainable development should be permitted provided that the proposal does not result in any material loss of amenity to adjoining neighbours, among other considerations.

Policy 10 of the Fleet Neighbourhood Plan states that development shall complement and be well integrated with neighbouring properties in the immediate locality in terms of scale, density, massing, separation, layout, materials and access and architectural design shall reflect high quality local design references in both the natural and built environment and reflect and reinforce local distinctiveness.

The application property is situated within a row of similar two-storey, semi-detached dwellinghouses constructed from brick and plain clay roof tiles. However, within the wider context of Westover Road there are a variety of dwellings, including two-storey detached properties and bungalows, along with an array of materials, including render, tile hanging and cladding. It should also be noted that a number of properties within the immediate vicinity have been extended and altered over time, in particular by way of single storey side additions, therefore the proposed development would not be considered out of keeping with the wider street scene.

Due to the proposed developments single storey nature, it would not dominate or compete with the character of the host dwelling and as such would be a subservient addition. Whilst the extension is large, ample rear amenity space to serve the occupants of the dwelling would be retained. Furthermore, the extension is to be set off from the common side boundaries, with space retained along the western side boundary to allow access.

The existing dwelling is constructed from brickwork and plain clay roof tiles. The submitted details indicate that the materials will comprise of vertical timber cladding to the flat roofed side/ rear extension, matching brick work for the rear extension with a natural slate roof. Windows and doors are to be powder coated aluminium, although window colours have not been specified.

Paragraph 134 of the National Planning Policy Framework (NPPF) states;

'Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents which use visual tools such as design guides and codes.'

Paragraph 134 (c) sets out that outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

In this respect, the proposal is of more innovative design than the existing property which would improve the quality of the area and the standard of design in the area. There are no adopted design standards or style guides by way of Supplementary Planning Documents.

The design Policies of the Local Plan and Neighbourhood Plan are the only relevant local documents in this respect.

As set out in the sub-text to Policy GEN1, to protect the environment it doesn't necessarily mean that no visual change should take place in the District. Whilst the use of alternate materials on the extension would result in a visual change from the existing situation, and a contrast between the existing property and the proposed extension, the change is considered to be modern which would not be harmful in terms of visual amenity. As also set out in the sub-text to Policy GEN1, the LPA is only able to refuse planning permission where it would cause demonstrable harm. The use of alternate materials is not considered to generate demonstrable harm to the character or visual amenity of the area that would warrant the refusal of planning permission on this basis. As the precise details have not been specified/ submitted, a suitably worded condition will be imposed requiring the submission and approval of materials to ensure they are of a high quality.

Impacts upon Amenity

Local Plan Policy GEN1 emphasises that sustainable development should be permitted provided that the proposal does not result in any material loss of amenity to adjoining neighbours, among other considerations.

The proposed extension, by virtue of its single storey nature, along with the intervening boundary treatments, is not considered to not give rise to any significant negative impacts upon any neighbouring amenities by way of overlooking or loss of privacy.

The proposed extension would be located in close proximity to the boundary. However, given its scale and single storey nature would not result in any unacceptable overbearing or overshadowing impacts. The neighbouring properties rear elevation door and window openings are serving non-habitable rooms/ secondary windows serving habitable rooms.

The proposal is therefore not considered to detract from the amenities of the neighbouring properties. As such the proposal would comply with saved Policy GEN1.

Parking

Local Plan Policies GEN1 and INF3 and Policy 19 of the Fleet Neighbourhood Plan state that all developments should provide appropriate parking provision in accordance with the Council's parking standards.

The site is located within Zone 2 for the purposes of the Interim Parking Standards which requires a two bedroom property to provide 2.5 spaces. The 0.5 space is for visitor parking and can be provided off-site if appropriate.

The number of bedrooms at the property would remain the same at two. The existing driveway can accommodate two vehicles and the proposed development would not impede on these arrangements.

The proposal is therefore not considered to give rise to any detrimental implications on the parking arrangements. The proposal therefore complies with saved Local Plan Policies GEN1 and INF3.

Ecology

Local Plan Policy NBE4 states that all developments should protect and enhance biodiversity. The Local Planning Authority has a duty under the Natural Environment and Rural Communities Act 2006 to have full regard to the purpose of conserving biodiversity, which extends to being mindful of the legislation that considers protected species and their habitats and to the impact of the development upon sites designated for their ecological interest.

The property is a 1960's semi-detached dwellinghouse located in a sub-urban location, however Fleet Pond Site of Special Scientific Interest and Local Nature Reserve, which contains extensive woodland and water, is within 100 metres. The property does not appear to have any additional potential bat features (weatherboarding and /or hanging tiles) and the proposals are for a single storey extension with no impact to the main roof. The Ecology Officer has concluded that given the works proposed, a formal bat survey is not required for this application and has raised no objection.

The Local Planning Authority has considered the possible impact of the development and can be reasonably certain that biodiversity would not be adversely affected. Therefore the proposal would comply with Local Plan Policy NBE4.

Trees

Local Plan Policy CON8 allows development that does not have an adverse effect on the long-term health of trees with amenity value. Policy NBE9 states that developments shall incorporate any on-site or adjoining landscape features such as trees and hedgerows. Policy 10 of the Fleet Neighbourhood Plan seeks to retain existing mature hedging and established trees.

There are trees on-site (as shown on the submitted block plan) which are protected by virtue of a tree preservation order. These trees are located over 20 metres from the proposed development, and on this basis no arboricultural information is required. The Tree Officer has confirmed that the proposed development is unlikely to directly impact upon protected trees and therefore raises no objection.

The Local Planning Authority has considered the possible impact of the development and can be reasonably certain that protected trees would not be adversely affected. Therefore the proposal would comply with Local Plan Policies CON8 and NBE9.

Climate change and Equality

Given the scale of the proposal it is not considered to raise any significant climate change issues.

In determining this application the Council, as required, had regard to its obligations under the Equality Act 2010. There has been no indication or evidence (including from consultation on the application) that the protected groups as identified in the Equality Act have, or will have, different needs, experiences, issues and priorities in relation to the particular planning application. Therefore, there would be no significant adverse impacts as a result of the proposed development on protected groups.

Other Planning Considerations

Fleet Town Council have raised an objection on the grounds that the extension could impact the occupiers of the adjoining property due to its depth and that it may result in a loss of light to the rear windows. These matters have been assessed within the main body of the Officers report under the "Impacts upon Amenity" section. They have also raised concerns with the timber cladding proposed and that it does not form the palette of the main house and would not be in keeping. These matters have been assessed within the main body of the Officers report under the "Design and Visual Impacts" section. In addition, they have commented that surface water drainage is to be taken to a SUDS system tank not a conventional soak away. It should be noted that the application site does not fall within Flood Zones 2 or 3. Notwithstanding this, these matters fall outside of the planning remit and would be secured under Building Regulations.

A legal agreement has been completed to secure that the previous planning permission (reference 21/03070/HOU) is not implemented.

CONCLUSION AND RECOMMENDATION

Applications for planning permission must be determined in accordance with the Development Plan unless material considerations indicate otherwise. The proposal meets the policy requirements for the HLP32 and saved policies of the HLP. The proposal will be acceptable, will cause no demonstrable harm and is therefore recommended for approval.

RECOMMENDATION - Grant

CONDITIONS

- 1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON:

To comply with Section 91 of the Town and Country Planning Act 1990 and to prevent an accumulation of unimplemented planning permissions.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans and documentation:

Location, Block and Existing Plans (2107 01B Rev B), Proposed Floor Plan (N352 03 A), Proposed Elevations (N352 07 C).

REASON:

To ensure that the development is carried out in accordance with the approved details.

- 3 Notwithstanding the approved plans, no work or development above ground level shall take place until a detailed external materials schedule (including manufacturer's product links, brochures or samples as relevant) has been submitted to and approved in writing by the Local Planning Authority. For the avoidance of doubt this shall include details of the brickwork, timber cladding, roof tiles, windows and doors. Once approved, the development shall be carried out in accordance with the submitted details and approved in writing by, the Local Planning Authority.

REASON:

To ensure that the external appearance of the development satisfactory in accordance

with Policy NBE9 of the Hart Local Plan (Strategy and Sites) 2016-2032 and Saved Policy GEN1 from the Hart Local Plan (Replacement) 1996-2006 and Policy 10 of the Fleet Neighbourhood Plan 2018-2032.

INFORMATIVES

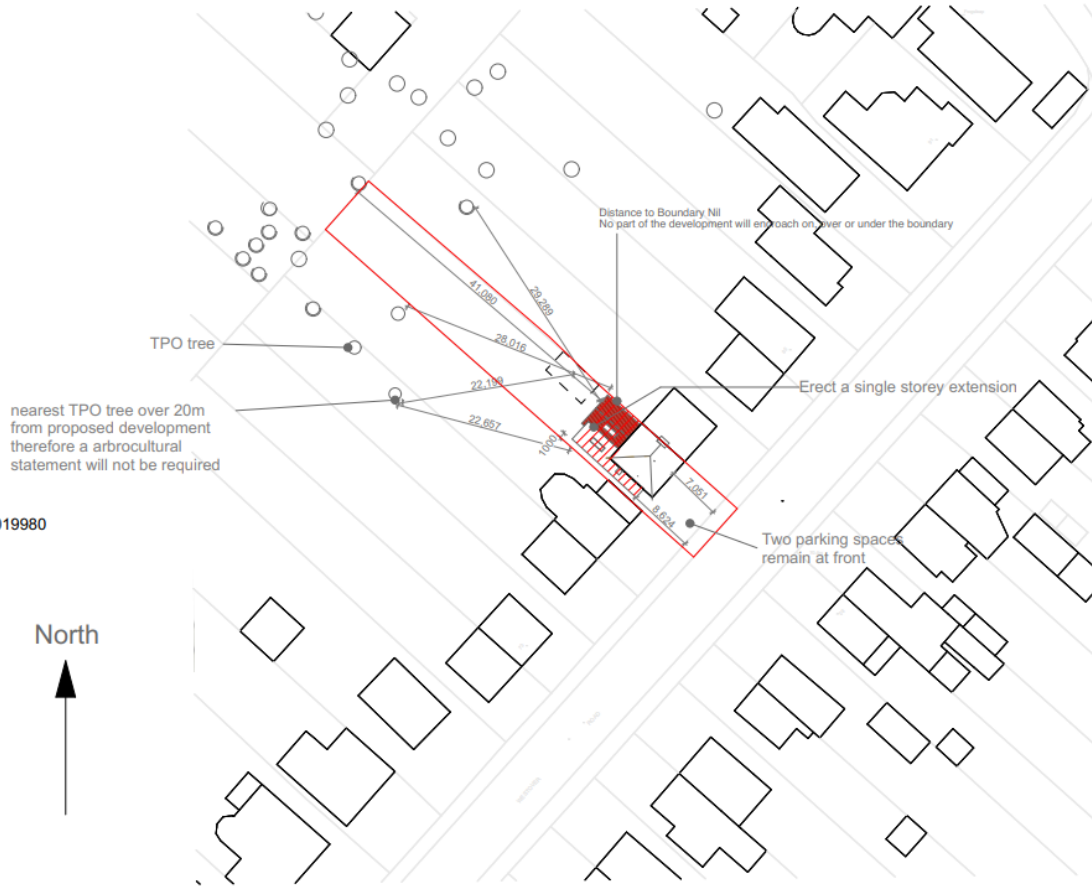
- 1 1.1 The applicant's attention is drawn to the fact that the above conditions (if any), must be complied with in full, failure to do so may result in enforcement action being instigated.
- 1.2 This permission may contain pre-commencement conditions which require specific matters to be submitted and approved in writing by the Local Planning Authority before a specified stage in the development occurs. This means that a lawful commencement of the approved development CANNOT be made until the particular requirements of the pre-commencement conditions have been met.
- 1.3 The applicant's attention is drawn to the fact that the Local Planning Authority has a period of up to eight weeks to determine details submitted in respect of a condition or limitation attached to a grant of planning permission. It is likely that in most cases the determination period will be shorter than eight weeks, however, the applicant is advised to schedule this time period into any programme of works. A fee will be required for requests for discharge of any consent, agreement, or approval required by a planning condition. The fee chargeable is £116 or £34 where the related permission was for extending or altering a dwelling house or other development in the curtilage of a dwelling house. A fee is payable for each submission made regardless of the number of conditions for which approval is sought. Requests must be made using the standard application form (available online) or set out in writing clearly identifying the relevant planning application and condition(s) which they are seeking approval for.
- 2 In accordance with paragraph 38 of the National Planning Policy Framework (NPPF) in dealing with this application, the Council has worked with the applicant in the following positive and creative manner:-- considering the imposition of conditions and or the completion of a s.106 legal agreement (in accordance with paragraphs 55-58).In this instance:- the application was acceptable as submitted and no further assistance was required. In such ways the Council has demonstrated a positive and proactive manner in seeking solutions to problems arising in relation to the planning application.
- 3 Hart District Council has declared a Climate Emergency. This recognises the need to take urgent action to reduce both the emissions of the Council's own activities as a service provider but also those of the wider district. The applicant is encouraged to explore all opportunities for implementing the development approved by this permission in a way that minimises impact on climate change.
- 4 You may require Building Regulations Consent and we advise that you should contact Building Control on 01252 398715.
- 5 The applicant is advised to make sure that the works hereby approved are carried out with due care and consideration to the amenities of adjacent properties and users of any nearby public highway or other rights of way. It is good practice to ensure that

works audible at the boundary of the site are limited to be carried out between 8am and 6pm Monday to Friday, 8am and 12 noon on Saturdays with no working on Sunday and Bank Holidays. The storage of materials and parking of operatives vehicles should be normally arranged on site.

North
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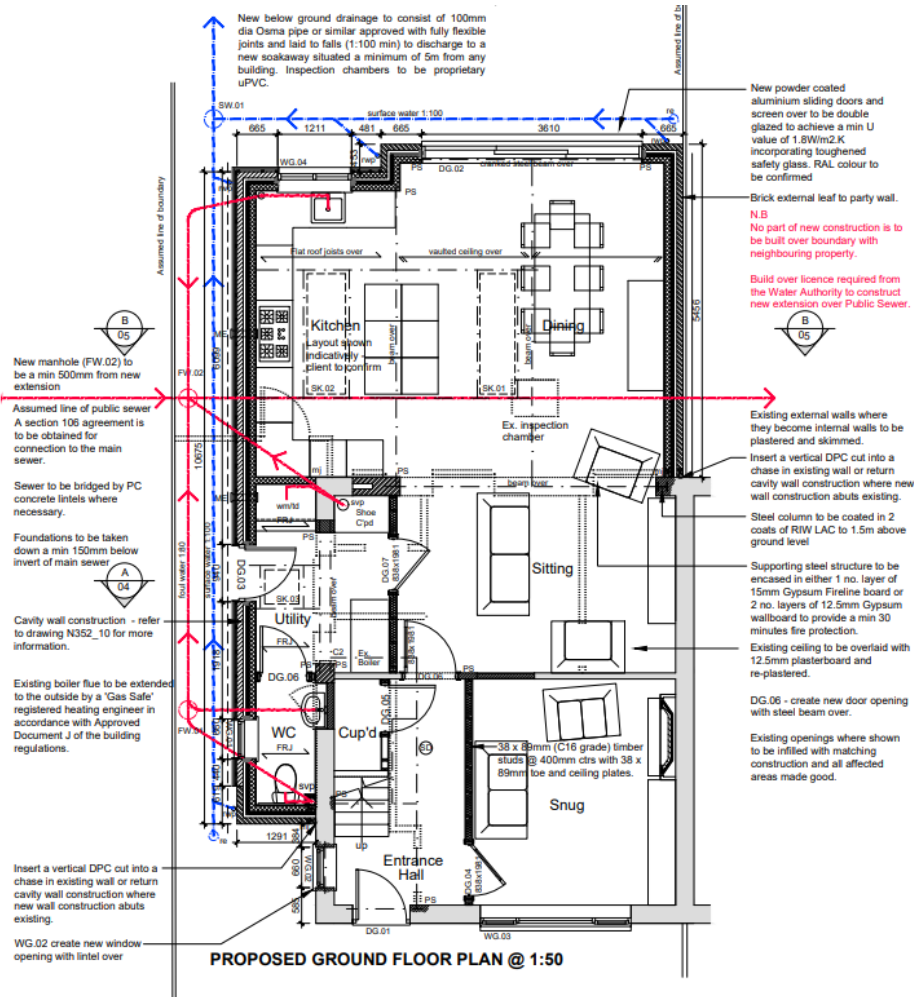


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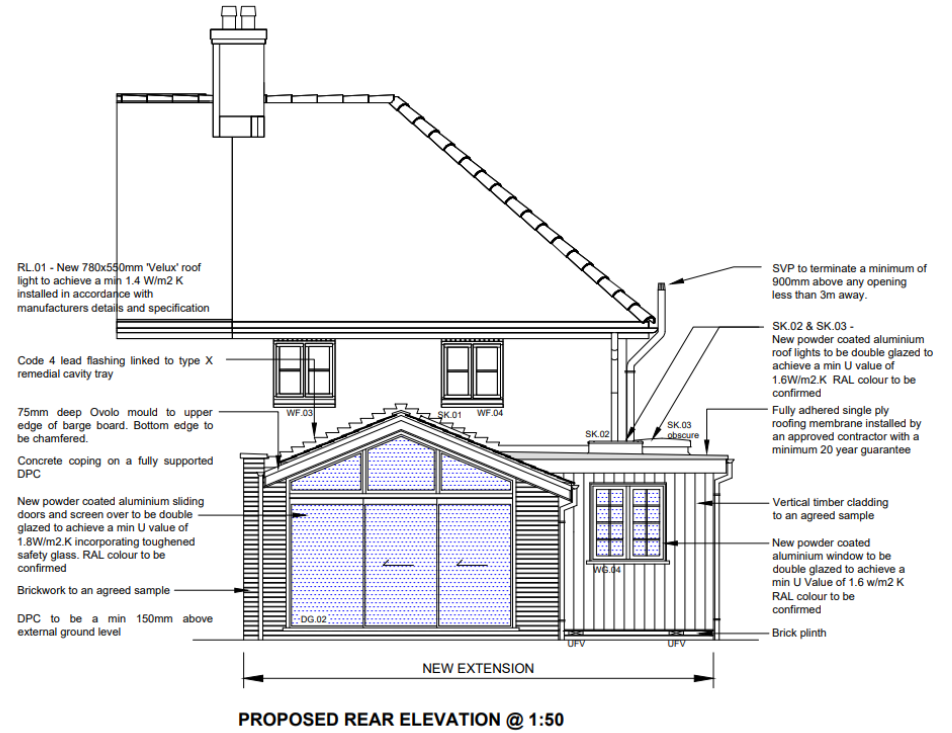
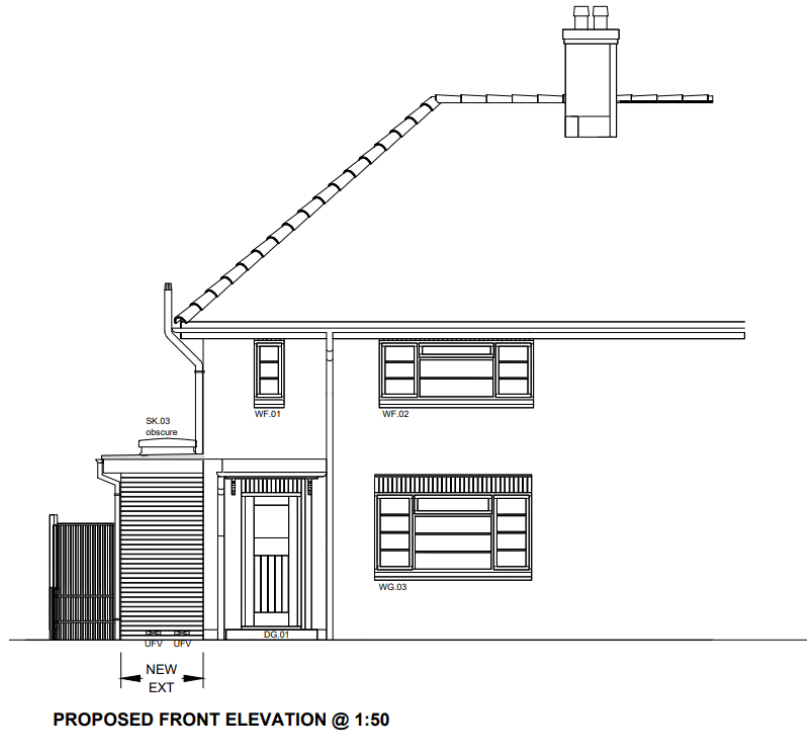


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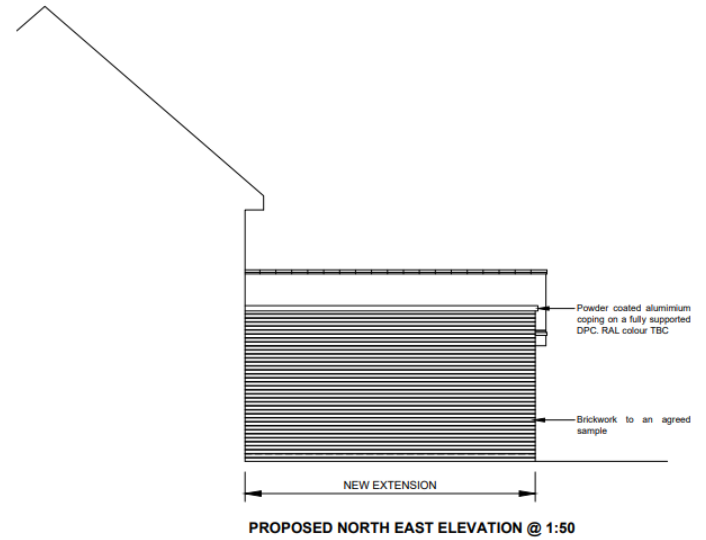
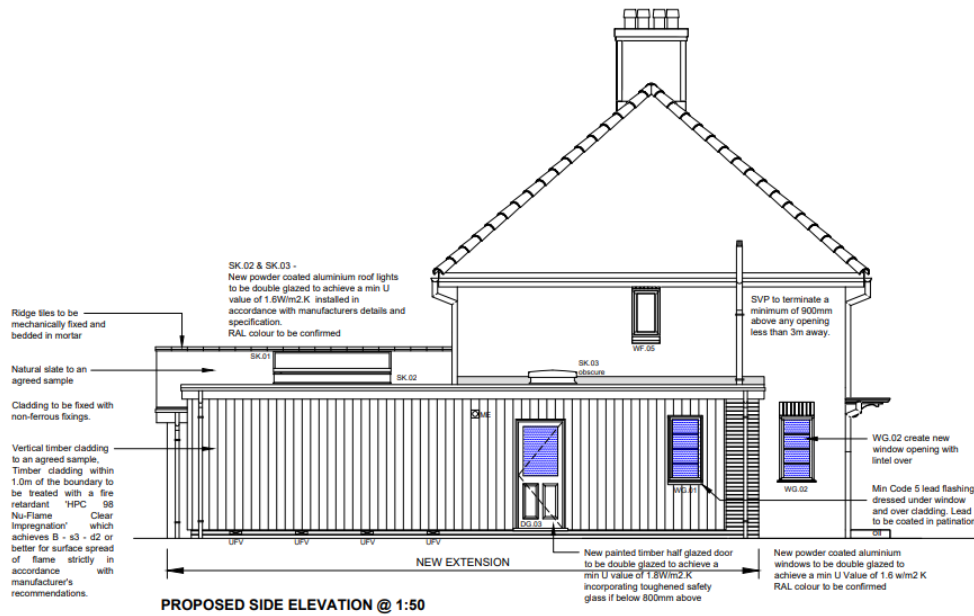
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Proposed Ground Floor Plan



Proposed Front and Rear Elevations

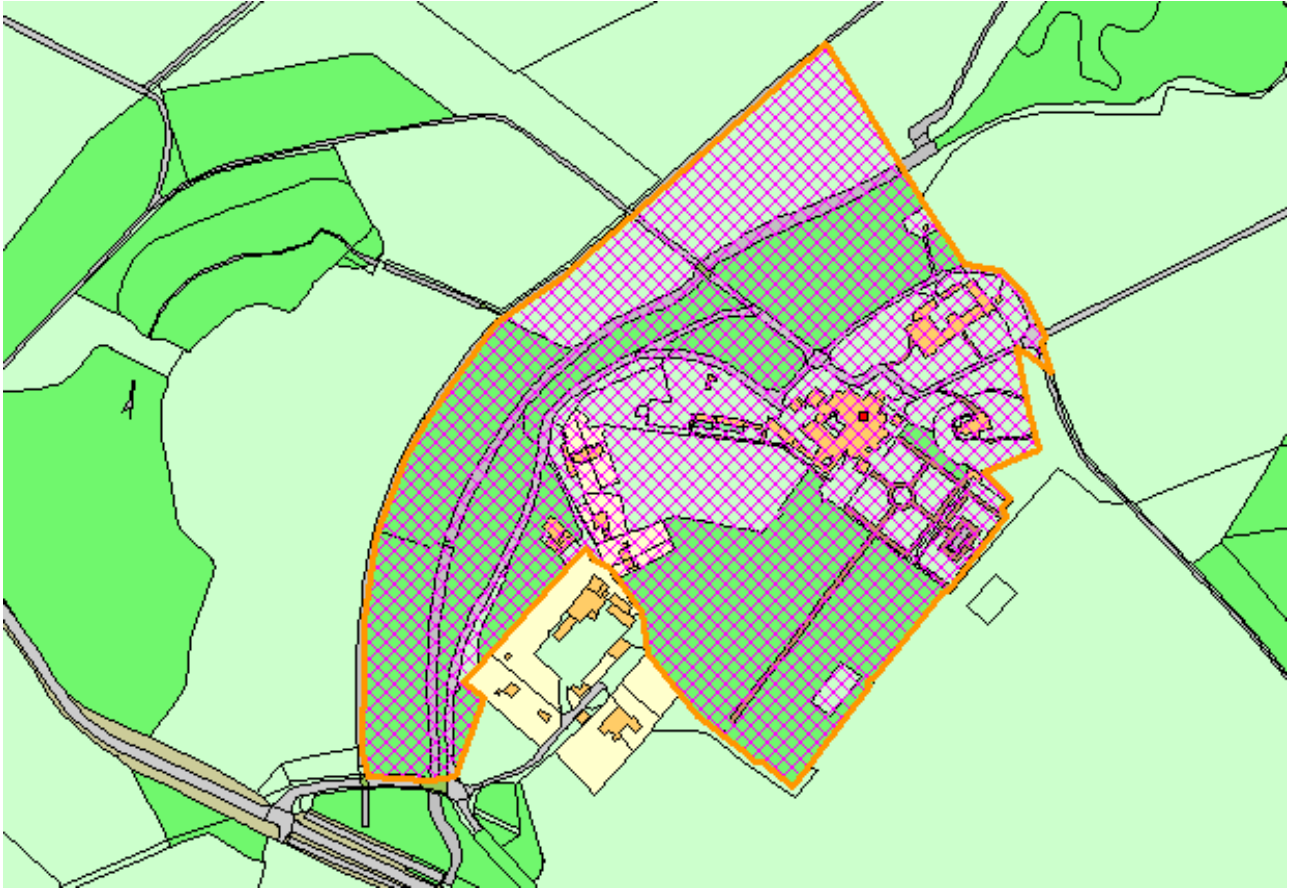


Proposed Side Elevations

COMMITTEE REPORT

ITEM NUMBER 10:

APPLICATION NO.	21/02743/FUL
LOCATION	The Elvetham Hotel Fleet Road Hartley Wintney Hook Hampshire RG27 8AR
PROPOSAL	<p>Alterations to and extension of The Elvetham Hotel (to include the provision of 46 guest accommodation units) including:</p> <ul style="list-style-type: none">- Repair and restoration of chapel within Elvetham Hall- Demolition of 1970s extension to Elvetham Hall and erection of a single storey extension to accommodate new rooms- Partial demolition of existing extension and reinstatement of internal courtyard to Elvetham Hall- Various other minor internal and external alterations to Elvetham Hall- Demolition of underground air raid shelter- Erection of an events centre featuring basement, ground floor and mezzanine floor and a subterranean access from service wing- Demolition of glasshouses- Erection of new building attached to existing garden wall and small buildings for use as a spa- Renovation and conversion of St Mary's Church to provide function facility- Refurbishment of water tower to include installation of platform lift and conversion to guest accommodation units- Demolition of Bluebell Cottages and the erection of 2 two storey buildings to provide guest accommodation units- Demolition of Heather Cottages and the erection of 3 two storey buildings to provide guest accommodation units- Conversion of garden store and erection of a part single part two storey building to be known as Journeyman Cottages to provide guest accommodation units- Erection of refuse storage building- Erection of fuel tanks, generators- Replacement of one and creation of one sewerage treatment plant and associated utilities- Resurfacing, rearrangement and extension to car parking- Hard and soft landscaping works- Replacement entrance gates- Formation of gardener's yard- Lighting Scheme
APPLICANT	AMENDED PROPOSAL Elvetham Hall (Property Ltd)
CONSULTATIONS EXPIRY	14 June 2022
APPLICATION EXPIRY	14 March 2022
WARD	Hartley Wintney
RECOMMENDATION	Grant, subject to planning conditions



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BACKGROUND

This planning application is brought to Planning Committee at the request of the Head of Place. The proposal involves complex heritage and economic arguments and are required to be debated in public.

THE SITE

The application site is located off the Fleet Road (A323) between Fleet and Hartley Wintney and comprises some 12 hectares of the former Elvetham estate and is outside of any defined settlement policy boundary.

The site is a Grade II Registered Park and Garden (RPG) in which there are the following designated heritage assets:

- The Grade II* Hall.
- The Grade II Stable Court.
- The Grade II St Mary's Church.
- The Grade II Water Tower.
- The Grade II Gardeners Cottage.
- The Grade II garden features including the listed bridge and garden walls.

In addition, there are the curtilage listed glasshouses and Bothy Cottage (undesignated heritage assets) and the modern Bluebell Cottages and Heather Cottages.

The main house was extended in the early 1900s and subsequently in 1970 on the north-east elevation and a conservatory was added to southeast elevation in 1956 and extended in 1997-8. The landscape was enhanced in the early 20th century by William Goldring.

The estate was emparked in 1359 and evolved from a mediaeval hunting park which dates back to the Norman period and is mentioned in the Domesday Book. It was owned by the Seymour family from 1426 and Edward Seymour entertained Henry VII there in 1535 and Elizabeth 1 visited for 4 days in 1591. The Tudor house burned down in the mid 19th century and was rebuilt in more or less its present form by the Calthorpe's between 1859 - 1862. It was designed by the architect Samuel Sanders Teulon, one of the leading proponents of this highly ornate Victorian Gothic style.

Until the early 1950s the property was a private country mansion but was used as a Red Cross hospital in the 1914-18 war. It became a management training centre in 1953 and continued in this use until 2002, when planning permission was granted for use as a hotel. The current owners acquired the property in 2019.

The hotel currently has 72 bedrooms (43 in the Hall and 29 in the stables of which only one is accessible), 15 meeting rooms (in the Hall and in the Stables) and 6 staff apartments (one in the Bothy, one in the Gardener's Cottage, two in Bluebell Cottages and 2 in Heather Cottages). There is a restaurant and bar in the Hall. There is a chapel in the Hall which is now divided with a mezzanine floor into an office and store. The church on the estate, St Mary's, was converted into a squash court in the 70s and is now used as a store. The walled garden has some disused glass houses backing onto a row of small buildings which separate it from the car park with 87 parking spaces.

The River Hart encircles the site to the north and west and part of the site is in Flood Zones 2 and 3, although the Hall sits on elevated ground in Flood Zone 1.

A public footpath runs from the Elvetham old rectory across a small part of the site to the south entrance of the church.

PROPOSAL

The proposal is for the conversion, alteration and replacement of existing buildings to provide a total of 132 bedrooms of which 7 will be accessible and 3 adaptable; the erection of a spa; and the creation of 4 event spaces, 4 multifunctional public rooms, a restaurant, and a bar.

There are improvements proposed to the facilities through works to the Hall, the modern buildings, the water tower, and the church, through the provision of utility buildings and structures and landscape restoration. These works are described in more detail below.

The Hall

- Replacement of the existing 1970s extension to the northwest elevation (front) of Elvetham Hall (which has 6 rooms that can only be accessed from the outside and are stated to be rarely booked) and modern garages and store with a new extension to provide 10 rooms with a better design and layout (net gain of 4 rooms) using the same building line and at the same height and of the same architectural style and materials as the 20th century wall enclosing the service courtyard.
- Removal of the modern toilet extension within the internal courtyard.
- Restoration of the Chapel.
- Alterations to the internal layout to accommodate underground access to the new events centre in the Walled Garden, to create a wedding suite and improve servicing arrangements.

The Walled Garden

- Replacing the disused glasshouses with a new glazed spa building.
- Recreate the formal garden at the top of the slope and creation of an underground events centre with a superstructure.
- Remove of mid-20th century air-raid shelter.
- Increase size of the car park.
- Provision of landscaping and paths and a water feature.

St Mary's Church

- Convert to events centre.
- Repair of the external envelope.
- Removal of Squash Court and all recent additions.
- Conservation and repair (where applicable) of existing historic elements.
- Creation of a new accessible toilet and 2 unisex toilets.
- Reinstatement of original levels on main gallery.
- New floor finish in the main nave.
- Installation of new lighting, heating and plant.
- Amendment of existing levels to achieve compliance with Part M of the Building Regulations (regarding ensuring that people are able to access and use buildings and their facilities).

Water Tower

- Convert to guest accommodation with event space in former water tank.
- Re-configuration of existing openings.

- Change the main entrance louvred door panel to a wooden tongue and groove panel.
- Remove timber boarding.
- Reinststate original windows.
- Re-configure existing roof pitch. Install A/C air cooled condensing units in the roof valley.
- Install roof light.
- Install 3 floor levels.
- Retain cast iron spiral stair and pumping equipment and metal beams used to support the full water tank.
- Insulate space between rafters and clad in timber boarding.
- Form openings in the water tank for event space access.
- Install secondary glazing.

Other works

- Demolish Bluebell and Heather Cottages and replace with new buildings to provide guest accommodation.
- Conversion of gardener's stores/workshops to guest accommodation.
- Re-configuration, re-landscaping and resurfacing of the existing 87 dedicated car parking spaces and creation of 45 new car parking spaces including accessible parking spaces plus bicycle parking.

Note:

Permission has been granted for works to the Stables to increase the number of bedrooms from 29 to 48 with 2 accessible (planning ref 20/0344/FUL). Further amendments to that scheme are being considered under applications 22/00760/FUL and 22/00761/LBC and works to the stables do not form part of this application.

RELEVANT PLANNING HISTORY

The site has an extensive planning history, the most relevant is listed below.

53/01349/HIST AA sign approved 14.12.1953

55/01942/H Erection of external staircase (stable block) approved 08.09.1955

56/02324/H Erection of two Nissen type huts for storage purpose 17.09.1956

56/02388/H Erection of Glazed addition to dining room Approved 10.11.1956

67/06026/H Erection of 3 garages for staff use approved 27.02.1967

70/06796/H Alterations to existing garage to form a games room approved 20.08.1970

75/01713/HD Erection of bedroom complex. Approved 12.11.75

HDC 6040 - Proposed boiler house (stable block) - Approved 22.08.1979

81/08064/HD Demolition of existing garage and erect pair of semi-detached dwellings refuses 13.05.1981

84/12185/FUL - Erection of bedroom complex (stable block)- Approved 29.01.1985 useful plans

90/19218/FUL Installation of additional sewage treatment plant together with new details approved 12.04.1990

91/00782/LBC - Demolition of 2 single storey stores and erection of 2 new bedrooms and jacuzzi/sauna. Reconstruction of external wall and roof to part of existing games/exercise sitting area and construct within roof 2 additional bedrooms (stable block) - Granted 03.04.1991

91/20327/FUL - Erection of extension to provide 4 additional bedrooms and Jacuzzi (stable block) - Approved 03.04.1991

95/00867/LBC Insertion of a glazed door/screen to front entrance to form a storm lobby.11.04.1996

95/00474/LBC New doorway, Alterations to existing doorway, new ceilings & other minor amendments to reception area 31.07.1995

95/00861/FUL New front door to form draught lobby. pp not required

95/00919/LBC Conversion of existing office & workshop in water tower to offices & toilet Approved 24.01.1996

95/00912/COU Conversion of existing office & workshop in water tower to offices & toilet Approved 24.01.1996

96/00104/FUL Conversion of existing store in water tower to an office approved 20.03.1996

96/00123/LBC Conversion of existing store in water tower to an office approved 20.03.1996

97/00538/LBC Conversion of existing store in water tower to an office Approved 01.08.1997

97/00540/COU Conversion of an existing store in water tower to an office Approved 01.08.1997

97/00893/FUL Demolition & reconstruction of existing conservatory & extension of the same. Approved 01.12.1997

97/00894/LBC Demolition & reconstruction of existing conservatory & extension of the same. Approved 01.12.1997

00/00305/FUL - Insertion of new windows into two existing stable-yard bedrooms - Approved 19.04.2000

00/00306/LBC - Insertion of new windows into two existing stable-yard bedrooms - Granted 19.04.2000

02/00346/COU Change of use to hotel and residential conference facility - Approved 27.06.2002

02/01408/LBC Partial demolition and alteration of staircases to upgrade fire escape facilities. Amended plans received to comply with building regulations (inc. ramp access). Approved 27.06.2002

02/01409/LBC Removal of existing bar and relocation of new bar and new french doors

Approved 27.06.2002

04/00153/LBC Convert existing window opening to service door opening with door similar to existing. Approved 18.03.2004

04/02675/TEMP RETROSPECTIVE - Temporary permission for installation of portacabin - Approved 21.01.2005

04/00867/LBC Conversion of existing sales office to form new female toilets, alterations of existing toilet accommodation to form larger male toilets. - Approved 12.05.2004

04/02676/FUL Erection of two sections of timber fencing - Approved 24.1.2005

04/01126/LBC Reposition kitchen and washup area, alter circulation and servery and re-order adjoining rooms to improve hygiene and health and safety issues. Approved 16.08.2004

20/00915/FUL Change of use of land for the siting of 4 no. portacabins and 2 no. storage container units for a temporary period of one year during renovation and development works associated with the hotel - Approved 24.08.2020

20/02344/FUL - Internal and external works to The Stables and the provision of a replacement plant room following demolition of existing plant room - Approved 06.04.2021

20/02345/LBC - Internal and external works to The Stables and the provision of a replacement plant room following demolition of existing plant room Approved- 06.04.2021

RELEVANT PLANNING POLICY

Section 38(6) of the Planning and Compensation Act 2004(as amended) requires applications for planning permission to be determined in accordance with the development plan unless material considerations indicate otherwise.

S66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

The adopted development plan for Hart district comprises the Hart Local Plan (Strategy and Sites) 2032 (HLP32), the saved policies of the Hart District Local Plan (Replacement) 1996-2006 (HLP06). Adopted and Saved policies are up to date and consistent with the NPPF (2021).

The Hartley Wintney Neighbourhood Plan 2017-2032 is also part of the development plan; however, the site is outside the neighbourhood area.

The relevant policies within the Development Plan are:

Hart Local Plan (Strategy & Sites) 2032 (HLP32):

Policy SD1 - Sustainable Development

Policy SS1 - Spatial Strategy and Distribution of Growth

Policy ED3 - The Rural Economy

Policy NBE1 - Development in the Countryside

Policy NBE2 - Landscape
Policy NBE3 - Thames Basin Heaths Special Protection Area
Policy NBE4 - Biodiversity
Policy NBE5 - Managing Flood Risk
Policy NBE8 - Historic Environment
Policy NBE11 - Pollution
Policy INF2 - Green Infrastructure
Policy INF3 - Transport

Hart District Local Plan (Replacement) 1996-2006 'saved' policies (HLP06):

Policy GEN1 - General Policy for Development
Policy GEN2 - Changes of Use
Policy GEN6 - Noisy unneighbourly developments
Policy CON7 - Riverine Environments
Policy CON8 - Trees, Woodland & Hedgerows: Amenity Value
Policy CON23 - Development Affecting Public Right of Ways

South East Plan 'saved' policies (SEP):

NRM6 - Thames Basin Heaths SPA

Hartley Wintney Neighbourhood Plan 2017-2032

Policy 10 The Rural Economy

Other relevant planning policy documents:

National Planning Policy Framework 2021 (NPPF)
National Planning Practice Guidance (PPG)
Hart Landscape Assessment (1997)
Hart Landscape Capacity Study (2016)
Hart Parking Provision Interim Guidance (2008)

CONSULTEES RESPONSE (summarised)

Hartley Wintney Parish Council

General comments:

- pleased to see the positive intent to restore and repair the historic elements of the Elvetham Hall;
- mostly sensitive approach to bring the site into the 21st century;
- appreciate the engagement and local consultation;
- understand need to offer competitive facilities and accommodation;

Specific elements:

The Hall alterations and extensions - No Objection

The Stables Court - No Objection

The Event Centre - No Objection. The structure would form a sensitive addition to the proposal. There is an argument for attempting to blend the old with the new, but it was felt that to contrast

the contemporary styling of the Events Centre with the historic background of the Hall would present a pleasing aspect to guests and visitors alike.

The Spa – Objection

- transition of the glasshouses into a state-of-the-art spa facility has not succeeded;
- elegant and peaceful continuum of the glasshouses has been lost;
- a more subdued, softer appearance required to reflect times gone by consideration must be given to the historic location;
- proposed alterations do not enhance the heritage asset and detract from the surroundings.

St Mary's Church - No Objection

- current use is totally inappropriate;
- support its conversion into a MICE environment incorporating historic detail;
- pleased to see that it will be compliant with part M regulations of the DDA.
- The War Memorial which is located close to St Mary's Church forms an integral part of the Hartley Wintney Remembrance Day Services and we require that this tradition shall not be broken.

The Car Park - No Objection

- the new configuration will provide all the necessary car parking spaces required for the increased guest capacity;
- inclusion of both disabled and EPVC spaces welcomed.

The Water Tower - No Objection

Heather and Bluebell Cottages - No Objection

- support the removal of the 1970s buildings and their replacement with a more appropriate style of accommodation reflecting the nearby Gardener's Cottage in both materials and palette.

The Gardens and Wider Estate - No comments

Journeyman Cottages - No Objection

Hampshire County Council (Archaeology)

- The site has high archaeological potential for containing significant archaeological remains. These remains could provide valuable information, feeding into local and regional research agendas regarding the origins of Elvetham, the development of the site throughout the medieval and post medieval period and the later uses of the Hall. The proposed works will negatively impact these remains where they are present.
- Therefore, recommend that an archaeological condition is attached to any planning permission granted, in keeping with the NPPF. Owing to the complex and multi-faceted nature of the development proposals, this condition should secure the submission and implementation of an Archaeological Mitigation Plan.
- This document should describe and coordinate the approach to the archaeological mitigation of the development, setting out detailed methods and plans for archaeological

responses to each of the elements of the development. The document should also set out provision for reporting and public dissemination of the results of the archaeological work.

- The potential of the different elements of the proposal to impact below ground archaeological remains and the fabric of standing historic buildings (see submitted DBA) is as follows:
- The Hall: May incorporate elements of earlier buildings e.g., 16th century basements. Courtyard has high potential for unidentified archaeological remains associated with earlier buildings therefore archaeological response required i.e., a phased approach to archaeological mitigation and/or archaeological monitoring.
- Event Centre: Deep excavations proposed in an area that possibly contained an estate village the remains of which may survive, and a Second World War Air Raid Shelter will be removed.
- Archaeological interest in this area is high and the proposal has potential to result in the partial or total loss of significance to unidentified buried archaeological assets which may be of regional or local significance therefore archaeological response required i.e., evaluation, followed by mitigation and a programme of historic building recording for the air raid shelter - not agreed that the air raid shelter is of low significance - the study of civilian air raid shelters is specifically mentioned in the regional archaeological research agenda (Solent-Thames Research Framework 2014, pp.289) with many examples being demolished with no record. As such, any programme of historic building recording should not solely be a descriptive Level 2 record as recommended in the submitted DBA but should incorporate some analytical Level 3 elements.
- Spa: Within an area of high archaeological potential related to the possible estate village and possibly waterlogged deposits of the Elizabethan Lake.
- Agreed archaeological remains may have been affected by post medieval canals and glasshouses and 18th and 19th century landscaping. but given the extent of groundworks required for the spa, some form of archaeological evaluation should be undertaken in this area to understand the deposits and existing impact - to be followed by mitigation works if required.
- St Mary's Church: A church was first constructed on the site in the 11th century, although the current building dates to the 19th century. The church includes a graveyard, used for burial until the 1960's.
- Agree with DBA assessment that the archaeological interest is medium to high. Installation of toilets in the north transept has the potential to disturb archaeological remains and burials of local significance.
- Do not agree that the replacement of the floor will not have any archaeological implications as earlier burials disturbed by the construction of the later church may be present as a disarticulated or semi in situ nature under the floor of the church along with rubble from the original church (such as moulded stone elements) which could provide an indication as to the architectural style and date of the previous church building. Therefore, a programme of archaeological monitoring is required.
- Heather and Bluebell Cottages: In a location that formed part of the Elizabethan Lake. Agree with the DBA that below ground archaeological remains potentially linked to the

landscaping associated to the Elizabethan Hall are likely to be truncated by later landscaping but that waterlogged deposits may remain, but as proposed replacement cottages are not confined to the existing an archaeological response is required ie evaluation followed by mitigation, if required.

County Rights of Way Group

No Objection.

- Informatives are recommended to prevent blocking of the footpath.

Environmental Health (Internal)

No Objection, subject to conditions to secure:

- the timing of construction, demolition and deliveries;
- submission of a Construction Management Plan;
- contaminated land and gas protection measures.

Hampshire County Council (Highways)

No objection, subject to conditions and Travel Plan.

Historic England

(Revised response of 08/06/2022)

- Historic England welcomes a number of the amendments to the scheme and the provision of additional information. Nevertheless, some aspects of the proposals, particularly the design of the Spa and Journeyman's Cottage, would still harm the significance of the estate. In our view this harm is not justified as it could be greatly reduced by improved design.
- Additionally, critical information is required relating to the repair and phasing strategy of the proposed development. We therefore suggest that determination of these applications be delayed to give the applicant the opportunity to make revisions and provide additional information in line with our detailed advice.
- The Spa: Construction of a spa inside the walled garden would inevitably harm the significance of this space. It would involve the loss of glass houses that form an important element of the productive garden and their replacement with a larger structure that would encroach into the garden area. However, we recognise that the glass houses are in very poor condition, they do not have a usefulness to the current owner that would justify the expense of their reconstruction, and this would be the least instructive location for a spa that was close enough to the house.
- We therefore accept the principal of a spa on this site, but its design should have as little impact on the character and appearance of the walled garden as possible. The current proposals look rather awkward and thus the building would be more intrusive than it needs to be.
- The reason for this awkwardness is that the architects have referenced the form of glasshouses, but the new building would have a much larger footprint. A design study

has been undertaken to explore how to deal with this and the solution arrived upon is to place two mono-pitch roofs behind the main pitch, creating a ridge and furrow effect. This results in a confused and over-complicated design. There are too many roof pitches, and the front slope rises to a rather odd, glazed peak. This complexity contrasts with the simplicity that lean-to glasshouses around walled gardens historically have taken and fails to create a truly elegant building in this space.

- The options study looks at a number of alternatives, none of which are wholly satisfactory. This leads us to conclude that attempting to reference the form and character of the existing glasshouse is not the best approach here. Creating a completely new design that fits the character of the walled garden well, and has a simpler form, is likely to result in a better building. Orangeries, which tended to be larger buildings, may act as a good starting point for the design.
- Development in and around the walled garden: Historic England maintains the view that the proposed Journeyman's Cottage would have a negative impact on the setting of the Gardener's Cottage, by intensifying development around it.
- Proposals seek to emulate the early 20th century 1 ½ storey workshop building to the north as opposed to the likely more modest 19th century linear building previously on the site. Proposals therefore create a building taller, longer (extending further south) and projecting further west than previous historic and existing development.
- Heritage benefits: As stated in our last letter, we welcome the inclusion within the application of a number of comprehensive condition assessments and are pleased that a condition report has now been included for the interior of the Hall as requested. Together the reports identify extensive repairs required across the site. We also welcome the sharing of the Gantt chart which gives indicative phasing of repairs.
- However, at present it is unclear what repairs would be undertaken, as there is no prioritised schedule of works, nor is there a commitment to link the delivery of these works with the new development proposed. This means that the positive benefit that can be attached to these works should be regarded as limited.

HCC Local Lead Flood Authority

No Objection, subject to planning conditions to secure:

- investigation of the existing drainage system;
- construction of the revised drainage system; and
- long-term maintenance.

Natural England

No Objection

Environment Agency

(Revised response of 30/06/2022)

- The proposed garden refuse storage, fuel storage tanks and generators are shown to be near the edge of Flood Zones. The FRA addendum describes the loss of flood storage to be 10.6m³ in Flood Zone 3 and 14.2m³ in Flood Zone 2. The FRA addendum proposes a flood storage area to mitigate for the loss of flood storage from these

structures. We do note the applicant proposes to raise the generator and fuel tanks for flood resilience purposes which we welcome.

- The addendum proposes level for level compensatory flood storage to mitigate for lost flood storage. However, we note from the submitted additional information, it appears that the storage is being proposed where an existing wall is located, which if solid would impede flood flow and restrict this compensation area becoming active. As set out in our previous reply, ordinarily the 1% flood with an allowance for climate change should be assessed to understand the extent of risk in this return period. Detailed modelling would consider the channel and any structures such as the downstream bridge. Then once then extent of risk in understood any mitigation that may be required can be applied.
- We note that there is a photo within the Design and Access statement (page 120, chapter 8) and plans and description of a wall in the location of the proposed works that runs along the north of the site close to the river. The wall appears to be a brick wall approximately 2m high. We understand this is an existing wall and it will not change as a result of the proposed development. If this is a solid structure that runs the entire length of where the proposed works are at the edge of the floodplain, we are concerned that this would create an impedance to flood flow that would restrict floodwater reaching the proposed works?
- The existing site plan 08-PL-00-111 dated 25/06/2021 of the Heather and Bluebell Cottages appears to show a wall running behind the Journeyman Cottages through to the Gardeners Cottage. Is this correct? Can the applicant please provide clarification with regard to the wall and whether there are any openings within the wall that would allow floodwater through? Photographs or elevational plans of the wall(s) would be useful. If there is a wall along the site this may negate the need for providing flood mitigation for the proposed garden refuse storage, fuel storage tanks and generators.

Tree officer (Internal)

Objection

- The submitted tree survey report and Tree Constraints Plan (TCP) ref 210201_TCS dated 05/07/21 do not provide sufficient information. An arboricultural impact appraisal (AIA) is required as a minimum, preferably accompanied by an arboricultural method statement (AMS) and tree protection plan (TPP) prepared by a suitably qualified arboricultural consultant and following the guidance of BS5837:2012 to demonstrate which aspects of the development impact on trees and how such impacts would be mitigated.
- In the absence of sufficient supporting information in respect of arboricultural impact, the application fails to demonstrate that trees and tree cover will not be adversely affected by the proposals and thus fails to meet the criteria of Hart policies GEN1 and CON8.

Ecology Consult (Internal)

No objection, subject to conditions to secure:

- Implementation of the ecological information submitted.
- Submission of a Landscape Ecology Management Plan (LEMP)
- Submission of a Construction Environmental Management Plan (CEMP)

Drainage officer (Internal)

Due to the size of the proposed development, refer to Hampshire County Council as the Lead Local Flood Authority.

Joint Waste Client team (refuse)

No comment as it is for commercial development.

The Victorian Society

(Revised response of 08/06/2022)

- Overall, the amendments address most of our previously raised concerns and we welcome the omission of the glazed corridor and stable proposal from the application. Similarly, the design changes to Heather and Bluebell Cottages are appreciated and these are now acceptable.
- However, our concerns regarding the walled gardens and glass houses remain.
- The proposed landscaping of the walled garden would harm the significance of the Registered Park and Garden and the setting of the Listed Building.
- Similarly, it is unfortunate that the removal of the glasshouses is still contemplated. It is feasible that at least some of the existing glasshouses could be restored in place. The loss of the glasshouses would harm the significance of the walled garden and the historic legibility of the garden as part of the wider historic estate and house. When paired with the harmful landscaping proposals this damage would be considerable, eroding the impression of how the walled garden originally functioned.
- Note the alterations which have been made to the design of the new spa complex and the more uniform proposed elevation which would face into the walled garden. However, these changes do not address previously raised concerns. The proposed design would continue to have a larger footprint than the existing glasshouses and intrude upon an historic axial route within the walled garden, thus harming its significance.

Hampshire Garden Trust

- This is a major proposal for this important site of a Grade II* listed building and its setting. Much of the proposals are concerned with the architecture and the potential impact upon the setting and this will be dealt with by others well qualified within their remit. Following a site visit in October last year, the Trust's comments will therefore be confined to any impact upon the historic landscape. The scheme has developed from previous proposals and some of the more controversial aspects of those proposals from earlier last year have been removed, thus our comments are focused on a few particular items.
- The Proposed Spa within the Walled Garden: This is a large complex and although it has been attempted to be set into the slope, it will inevitably have a visual impact. Some reduction in scale would serve the setting better at this high point and in respect of the main house.
- Glass houses: One particular aspect of concern is the replacement of the existing

glasshouses. Such glass houses are becoming a rarity and any loss as such would be detrimental to the historic relationship of the site and the setting. It is recognised that the structure is in a parlous condition, but it has been let get into that state. It is hoped that this can be reconsidered, and a scheme of restoration and reuse can be put forward in order to retain this piece of the house's history.

- Redevelopment at the western end of the Walled Garden: Any development must have close regard to the nearby listed Gardener's Cottage and the Water Tower, together with the visual aspect when viewed from the walled garden. The proposed demolition of the two 'modern' houses and their replacement with new larger scaled dwellings with historic leanings would appear to increase the visual impact upon the view from the Walled Garden, due to their style and scale, including the proposed Journeyman's Cottage. Whilst the existing houses are not of any particular merit, they are unobtrusive in the setting, and one wonders in this era of sustainable thinking whether a scheme of upgrading of the existing might not be more beneficial all round? If they are to be replaced then considering the overall effect of any buildings at this western boundary of the Walled Garden, perhaps it should be the aim of any new designs for buildings to be set below the height of the tall wall, or at least be visually recessive in impact.
- Landscaping: The deliverance of a high-quality scheme will be vital to the success of this development. Careful reference to the original 18th Century landscape and refurbishment of the areas of the Golding's design with appropriate trees and planting are to be welcomed. Planting proposals should conform to the historic information where possible. Particular attention should also be given to the proposed extended parking area within the lower end of the Walled Garden.

Referral of application to Secretary of State

For the purposes of The Town and Country Planning (Development Management Procedure) (England) Order 2015, the proposed development falls within Schedule 4 (q) (development materially affecting a Grade II* listed building) which requires notification of Historic England; 4 (s) (development likely to affect a battlefield, garden or park of special historic interest which is registered in accordance with Section 8c of the Historic Buildings and Ancient Monuments Act 1953) requiring notification to the Garden History Society; 4 (zc) (development, other than minor development, which is to be carried out on land in an area within Flood Zone 3) requiring notification of The Environment Agency.

Historic England and the Victorian Society have confirmed that their comments on the application would not amount to objections.

Notwithstanding, the Environment Agency, at the time of writing this report, has an outstanding objection to the application. On that basis, and in accordance with the Town and Country Planning (Consultation) (England) Direction 2021, a resolution to grant permission must be referred to the Secretary of State. A further discussion on the outstanding objection is given in the 'Flood Risk and Drainage' section of this report, and an update to the report will be given at the meeting.

PUBLIC COMMENTS

The statutory requirements for publicity, are set out in the Development Management Procedure Order 2015 (as amended) and the Council's Statement of Community Involvement (SCI). To publicise this application, neighbour letters were posted to relevant addresses, a site notice displayed, and a local press notice was advertised in the local newspaper providing

interested parties with a minimum of 21 days to comment. Further letters were sent out following receipt of amended details and further information.

Pre-application consultations were undertaken by Engage Facilitate (EFC) on behalf of the applicant. During the process the web site had 1,281 unique visits and EFC engaged with approximately 100 residents. No amendments were suggested.

No public representations regarding the submitted application have been received.

CONSIDERATIONS

PRINCIPLE OF DEVELOPMENT

The site is located in the Countryside outside any defined settlement limit according to the proposals map of the adopted HLP32. The principle of the development proposed must be assessed in light of the policies of the adopted HLP32 and other material considerations.

Policy ED3 (The Rural Economy) confirms that development proposals will be supported where the criterion of the policy are met. Of particular relevance to this proposal are the provisions of criterion c) - enable the continuing sustainability or expansion of a business or enterprise, and e) - in the case of new buildings, and extensions to existing buildings, are supported by evidence of need for the scale of the development proposed.

All development proposals assessed under policy ED3 must be of a scale and use that is appropriate to the site and location when considering: (i) landscape, heritage and environmental impacts, (ii) impacts on residential amenity, (iii) the accessibility of the site, and the impact on the local highway network.

Policy NBE1 indicates, amongst other things, that new development in the countryside will only be supported where it is: b) providing business floorspace to support rural enterprises (Policy ED3), or c) providing reasonable levels of operational development at institutional and other facilities.

Although the site is outside the policy area of the Hartley Wintney Neighbourhood Plan, Policy HW10 of the Neighbourhood Plan confirms support will be given to proposals that strengthen the rural economy and provide local employment opportunities.

There is considered to be broad policy support (policies ED3, NBE1 of the HLP32 and policy 10 of the HWNP) for the proposal and as such the proposal is acceptable in principle subject to the details of the scheme and the applicable material considerations.

LANDSCAPE AND VISUAL IMPACT

Policy NBE2 of the HLP32 seeks to achieve development proposals that respect and wherever possible enhance the special characteristics, value, or visual amenity of the district's landscapes. This policy contains five criteria to assess development proposals in relation to landscape impacts. It also states that, where appropriate, proposals will be required to include a comprehensive landscaping scheme to ensure that the development would successfully integrate with the landscape and surroundings.

The application site is located within the defined landscape area 5 of the Hart Landscape Character Assessment.

This landscape character area is 'Northeast Hampshire Plantations and heath' - and is

described as gently undulating with plateau areas dissected by river valleys with a high concentration of designed landscapes many originating from deer parks - set in wooded area - mosaic of grassland, arable fields, grazed meadows, heathlands and woodlands - habitats connected by River Hart and tree lines.

The site is already in hotel use, and any development within the site would be confined to the envelope of the already developed parts of the site and gardens. Any wider landscape impacts are therefore considered to be minimal. Whilst public views would be available from Public Footpath 11, which runs east from St Mary's Church, this would be largely unaffected by the proposals, and any construction impacts would be temporary only. Localised improvements to the setting of the parkland would be achieved through the improvements proposed to the historic gardens. The proposal would accord with Policy NBE2 of the HLP32.

HERITAGE IMPACTS

S16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that, when considering whether to grant listed building consent for any works the local planning authority or Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Paragraphs 189 - 197 of the NPPF 2021 set out the national policy in relation to proposals affecting heritage assets. Heritage assets range from sites and buildings of local historic value to those of the highest significance. These assets are an irreplaceable resource and should be conserved in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of existing and future generations.

In determining applications LPAs should require applicants to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance. LPAs should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset), taking account of the available evidence and any necessary expertise.

When determining applications LPAs should take account of:

- a) The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- b) The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- c) The desirability of new development making a positive contribution to local character and distinctiveness.

Significance of the heritage assets.

The site is a Grade II Registered Park and Garden (RPG). The estate was emparked in 1359 and evolved from a mediaeval hunting park which dates to the Norman period and is mentioned in the Domesday Book. It was owned by the Seymour family from 1426 and Edward Seymour entertained Henry VII there in 1535 and Elizabeth 1 visited for 4 days in 1591. The estate was altered again by Samuel Sanders Teulon, who designed the main hall and stable court in the mid -19th Century. It was further developed in 1911 by landscape architect William Goldring – much of his work on the state is what survives today, apart from the Walled Garden, which dates to Teulon's work. The formal, pleasure and walled garden have all faded from their previous zenith, with the walled garden suffering to the greatest extent due to the modern car parking area it beholds. Nonetheless, the wider landscape around the hall remains of special

interest and is Grade II registered.

As well as being listed in its own right, the Elvetham Estate includes the following designated heritage assets:

- The Grade II* Hall

The original Tudor house burned down in the mid 19th century and was rebuilt in more or less its present form by the Calthorpes between 1859 - 1862. It was designed by the architect Samuel Sanders Teulon one of the leading proponents of this highly ornate Victorian Gothic style.

The main Hall is constructed of red brick with stone dressings and is ornate with horizontal courses and decorations in black brick. The building is highly varied in its groupings, with one and two storey blocks and a tall entrance towers. The various roof forms include tall chimney stacks, mansards or hips with gables, dormers and finials. The interior of the hall is a showpiece of mid-19th century applied artwork and design, with stained glass windows, painted walls, decorative tiles and metalwork. There are several high-quality carved fireplaces by Thomas Earp.

Alterations to the Hall took place at the turn of the 20th century, by architect Stanley Pool, including the richly decorated Chapel, with its hipped roof clerestory formed or elaborate lanterns surmounted by an octagonal cupola, ribbed and coved ceiling, trompe l'oeil painted wall hanging and fine oak carvings.

The main house was extended in the early 1900s and subsequently in 1970 on north-east elevation and a conservatory was added to southeast elevation in 1956 and extended 1997-8. The landscape was enhanced in the early 20th by William Goldring.

Whilst some of the special value of the Hall is currently diluted by its poor condition and modern alterations, as a whole it remains of more than special interest and is Grade II* listed.

- The Grade II Stable Court

Also designed by Teulon in 1860, the Stable Court uses the same High-Gothic language as the main hall. E-shaped in plan form, its principal elevation faces the historic access route into the estate.

The Stable Court has been subject to recent alterations which include the loss of the clock turret about the central gable, and alterations to door and window openings. To the rear it is enclosed by a gated decorated wall. Alterations to the interior, and particularly the west wing, the historic fabric has been concealed or lost. Nonetheless, the building remains of high value and is Grade II listed.

- The Grade II St Mary's Church

Built in 1840-1841, St Mary's Church is in the Neo-Norman style and forms an important visual group with the Hall and Stable Court. It was designed by Henry Roberts and predates Teulon's work on the Estate. Much of the fine interior has been lost, but the exterior of the building retains its architectural and special interest.

- The Grade II Water Tower

Designed in the same High Gothic architectural style as the main Hall and Stables, it is of high

architectural merit and forms an important visual understanding of how a mid-19th century estate operated.

- The Grade II Gardener's Cottage
- The Grade II garden features including the listed bridge and garden walls
- The curtilage listed glasshouses and Bothy Cottage

Overall, the estate can be said to be of significant heritage value, both in terms of the individual buildings, structures and gardens, but also in terms of the combined value of the groupings.

Assessment of harm

In its original response to the scheme, Historic England (HE) recognised the need to upgrade the facilities at the hotel, noting that this was likely to be its optimum viable use and that a degree of change may be justified in order to meet modern hotel standards. It also accepted the principal of some additional accommodation being provided and recognised that several heritage benefits would ensue, including the repair of the chapel, church, water tower and restoration of the gardens. However, the following aspects of the scheme were considered by HE to be harmful to the significance of the heritage assets and their setting:

- Glazed corridor to new accommodation at the rear of the hall
- Glazed corridor to the Stables
- The new spa
- Additional accommodation in and around the Walled Garden

HE concluded that these works would harm the significance of the heritage assets and this harm would be within the mid-range of 'less than substantial'. At the time of the original submission, Historic England was not satisfied that the harm caused by these elements of the scheme would not be justified or outweighed by public benefits and could be greatly reduced by improved design.

In addition, the Victorian Society (VS) also raised objection to the following aspects of the scheme, as originally submitted:

- Glazed corridor to the new extension
- Glazed corridor to the stables
- Landscape proposals around the events centre
- Loss of the glasshouses
- Design of Heather and Bluebell Cottages

Further, the Hampshire Gardens Trust (HGT), on behalf of the Gardens Trust, made the following comments in response to the impact of the proposal on the historic gardens and parkland, and its setting:

- The scale of the Spa building within the Walled Garden.
- The loss of the glasshouses.
- The scale and design of the replacement dwellings at the western end of the walled garden.
- The need for a high-quality landscaping scheme to be secured, particularly around the proposed parking area adjacent to the Walled Garden.

Following a review of these comments, and a post-submission meeting, Officers invited amendments to the scheme to address the concerns raised by consultees. Amended information was submitted on 25/03/2022 which sought to address these concerns. The

amended information included:

- Removal of glazed corridor to the new extension; clarification on windowsill detail and colour.
- Removal of the works to the stable block from this application (now subject to separate applications references: 22/00760/FUL and 22/00761/LBC).
- Additional information submitted in relation to the design approach for the events centre and landscaping.
- Alterations to the design of the Spa, including changes to the roof pitch and design; reduction in height at point of connection with building at the Spine wall; new openings reduced in Spine wall; bulk reduced by breaking down the building into sections to better resemble the glass houses; alterations to the dwarf wall heights; and a reduction in the projection from the western end of the building.
- Alterations to Bluebell and Heather Cottage designs, including revised elevational treatment; lowered terraces and replacement of boundary wall with vegetative planting;

Following these amendments, the Amenity Societies (HE, VS and HGT) were reconsulted. HE is now satisfied with the removal of the glazed link and its replacement with a ramp, together with the revised design of Bluebell and Heather Cottages.

However, it remains concerned regarding the design and impact of the spa building. HE recognises that the existing glasshouses are in very poor condition, they do not have a usefulness to the current owner that would justify the expense of their reconstruction, and that the position inside the Walled Garden would be the least intrusive location for a spa that is functionally close enough to the main house.

Nonetheless, it remains concerned regarding the revised design of the Spa. The revised roof form, and replication of the design of the glasshouses, but on a different scale, results in a confusing and overly complicated design. HE recognises the design study undertaken but considers that referencing the design of the glass houses is not the correct approach. It also considers that the design of Journeyman's Cottage would be harmful to the setting of the walled garden, having taken its design cues from a 19th-century workshop, rather than the traditional linear buildings previously on site.

HE therefore concludes that whilst there are heritage benefits from the scheme, the revised proposals would continue to result in less than substantial harm, within the middle of the spectrum of harm.

Similarly, whilst the VS is now satisfied following the removal of the glazed Spa link and revised design of Bluebell and Heather Cottages, it continues to have concerns regarding the landscaping of the walled garden and demolition of the glasshouses. In particular, reference is made to the proposal to dismantle any viable remains of the glasshouses on site and restore and reconstruct them elsewhere on site. The VS considers that it is therefore feasible that at least some of the existing glasshouses could be restored in place, and that their loss from this location, or in their entirety, would harm the significance of the walled garden and historic legibility of the garden as part of the wider historic estate and house. When paired with the harmful landscaping proposals, the damage would be considerable, eroding the impression of how the walled garden originally functioned.

The VS also remains concerned regarding the design of the Spa building, which it considers does not address its previous concerns and would continue to have a larger footprint than the existing glasshouses and intrude upon an historical axial route within the walled garden.

Therefore, the remaining elements are considered to result in the following less than

substantial harm to the significance of the heritage assets:

- Loss of the existing glasshouses (curtilage listed buildings).
- Spa building (by reason of the design of its roof form and position in the walled garden, and harm to the setting of the listed buildings).
- Journeyman's Cottage (by reason of its scale and form and impact on the setting of the listed buildings).

It is acknowledged that HE remains of the view that the harm caused by the spa building and Journeyman's Cottage could be reduced through improved design. The applicant has outlined in their submission a number of design options that have been considered for the spa building, none of which HE considers to be successful. Whilst officers recognise the desire to improve the design, the application must be decided upon its merits, and the harm by reason of the design is recognised as a key harmful element which must be outweighed by other considerations, in order for the development to be acceptable overall.

The harm identified is within the middle of the less-than-substantial spectrum of harm; however, that is not to say that it is inconsequential, as the statutory test requires development to have a neutral or positive impact on heritage assets. Paragraph 202 of the NPPF set out that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

Assessment of heritage benefits

The following benefits will arise from the proposed development, which will enhance the significance of the heritage assets on site:

- Restoration of the Chapel.
- Demolition of the 1970s extension.
- Removal of the toilets from the internal courtyard.
- Restoration of the landscaped gardens.
- Removal of the Georgian glass screens on the first and second floor balconies.
- Reinstatement of the stained glass in the hall.
- Repairs to the historic fabric of the buildings, inside and out, as identified in the Condition Reports prepared by Carden and Godfrey.

The restorative works and repairs to the historic fabric of the main Hall building, Chapel, St Mary's Church and Stable Block (the subject of a separate application) as set out in the Condition Report submitted by the applicant can be attributed significant beneficial weight in terms of both the preservation and enhancement of the historic fabric of the heritage assets on site. The Condition Report categorises the repairs and enhancements into urgent works, and those which should be for attention within 2 years, 5-10 years, longer term, and routine maintenance and monitoring. The applicant has submitted a GANTT chart which sets out the time periods for these repairs to take place, which will run concurrently with the other works proposed within this application. These works can be secured by planning condition and are attributed significant weight in the heritage balance.

Overall, the heritage benefits of the scheme are considered to outweigh the harmful elements. This should be weighed into the final planning balance assessment, given at the end of this

report.

IMPACTS UPON AMENITY

Policy NBE11 of the HLP32 supports development which does not give rise to, or would not be subject to, unacceptable levels of pollution. Saved policy GEN1 of the HLP06 supports development that, amongst other requirements, causes no material loss of amenity to adjacent properties. Saved Policy GEN6 states that development which generates volumes of traffic unsuited to the local area will only be permitted where the proposal incorporates adequate noise abatement measures to alleviate any material loss in amenity.

The NPPF 2021 advises that planning decisions should ensure that developments achieve a high standard of amenity for existing and future users and also do not undermine quality of life for communities.

Overall, the site is well contained within the parkland setting, with few immediate residential or commercial neighbours. The nearest neighbouring buildings are those at Lodge Farm to the southwest, which are located closest to the Water Tower and Bluebell, Heather and Gardener's Cottages. Whilst there would be some disruption from construction noise during the relevant phases, this would be short term and could be controlled through submission of a Construction Environmental Management Plan. Longer term impacts during the operational phase of the development would likely be noticeable to the residents of Lodge Farm, by reason of the increased activity from guest arrivals, housekeeping etc, once the guest accommodation is functional. However, the site has a lawful hotel use, and given the level of activity associated with these parts of the site, it is considered that there would not be a materially harmful impact on residential amenity as a result of the proposal.

Subject to compliance with these measures, which would be secured by condition, the Council's Environmental Health Team has no objection. The proposal would not have any significant detrimental impact on neighbouring amenity and complies with Policy NBE11 of the HLP32 and Saved Policies GEN1 and GEN 6 of the HLP06 in this respect.

HIGHWAY SAFETY, ACCESS AND PARKING

Policy INF3 of the HLP32 states that development should promote the use of sustainable transport modes prioritising walking and cycling, improve accessibility to services and support the transition to a low carbon future.

Saved policy GEN1 of the HLP06 supports developments that do not give rise to traffic flows on the surrounding road network which would cause material detriment to the amenities of nearby properties and settlements or to highway safety, do not create the need for highway improvements which would be detrimental to the character or setting of roads within conservation areas or rural lanes and do not lead to problems further afield by causing heavy traffic to pass through residential areas or settlements, or use unsuitable roads.

Paragraph 111 of the NPPF 2021 advises that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

The existing access to the site onto Fleet Road would be maintained and utilised to serve the new development. Following an assessment of the submitted information, including additional junction modelling, the County Highway Authority is satisfied that the access and junction arrangements onto the highway network are sufficient to serve the proposed development.

The proposal would result in an increase in trip rates to and from the site. Hotel rooms at the site would increase from 72 to 132, meaning that the number of 2-way trip rates at the hotel would increase from 366 daily trips to 671 daily trips. The Spa facility would likely generate an additional 56 daily trips, and the Event Centre could generate an additional 60 daily trips. Overall, the number of daily trip rates, accounting for occupation of hotel rooms, users of the spa, and an event of 320 people in the Event Centre, would generate an additional 264 two-way trips. The CHA is satisfied that the additional trip generation from the development proposals, as a whole, would not have a detrimental impact on highway safety.

The proposal also includes an increase in parking spaces. Currently there are 87 formal spaces on site, and a further 43 spaces used informally.

HDC's Interim Parking Guidelines indicate the following requirements for the various uses contained within this proposal:

- 1 parking space per bedroom for a hotel
- 1 space per 5 fixed seats plus 1 space per 10sqm of pool area for a swimming pool/health club
- 1 space per 5 fixed seats for a conference facility

The proposal would therefore generate the following parking needs:

- 123 spaces to serve the hotel
- 10 spaces to serve the spa
- 40 spaces to serve the function space

The proposal seeks to increase the overall number of spaces on site from 87 to 132 spaces, an increase of 45 parking spaces over the existing number. It is considered that this is a reasonable and required amount of parking spaces to serve the proposed development on site. Whilst the number of spaces proposed to serve the function space is equivalent to 1 space per 10 seats, it is acknowledged that a proportion of the car parking spaces allocated to each event would include hotel parking spaces also, as a proportion of guests attending events at the site are likely to also require bedroom accommodation. Therefore, in order to avoid unnecessary double-counting, the number of spaces allocated for event parking would be reduced.

Given that the site is in a relatively isolated location, with limited access to public transport, a Travel Plan has been submitted by the applicant. The Travel Plan outlines that the applicant intends to reduce travel by single occupancy cars by 5% by the end of year 3, and by 10% by the end of year 5 (from completion of the project). This will be achieved by promoting sustainable travel to and from the site, and by providing on site infrastructure to facilitate sustainable travel, such as having cycle parking, changing facilities and electric charging points.

The effectiveness of the Travel Plan can be measured through the submission of details to the LPA, which can be reviewed in conjunction with the CHA. This can be controlled by way of a planning condition.

Subject to the above, the proposal would not have an adverse impact on highway safety or capacity and would comply with Policy INF3 of the HLP32.

FLOOD RISK AND DRAINAGE

Policy NBE5 of the HLP32 states that development will be permitted providing over its lifetime it will not increase flooding elsewhere and will be safe from flooding. For major developments, SuDS should be used unless demonstrated to be inappropriate, and within Causal Areas all development should take opportunities to reduce the causes and impacts of flooding. If development is located within an area at risk from any source of flooding, it should be supported by a site-specific FRA and comply with national policy tests. Proposals should not compromise the integrity and function of a reservoir or canal embankment.

Paragraph 159 of the NPPF states that development in areas at risk of flooding should be avoided by directing development away from areas at highest risk (whether existing or future).

Hampshire County Council, as Lead Local Flood Authority, rises no objection to the proposal on the basis of surface water flooding. There is an existing surface water flow path crossing the site, with surface waters being stored on site before it flows away. In order to retain this overland flow path and to avoid displacement of flood waters, the existing ground levels should be retained. This can be controlled by way of planning condition, if permission is granted.

The existing, impermeable hard surfaces would remain around the main Hall, Stable Court (not part of this application) and the water will continue to drain as existing. Surface water runoff from the carpark will be managed through a combination of channels, swales, raingardens, attenuation tanks and permeable paving, before being discharged into the River Hart. This will result in a betterment in terms of the existing discharge regime.

Therefore, subject to conditions to ensure the drainage system is constructed in accordance with the submitted drainage strategy, investigation of the existing drainage system prior to any new connection being made, and the submission of details of the long-term maintenance for the surface water drainage system, the proposal would not result in an increased risk of surface water flooding, on site or elsewhere.

With regards to fluvial flooding, it is noted that part of the site lies in Flood Zone 3. The proposal would result in the loss of flood storage capacity of 10.6m³. Compensatory, like-for-like flood storage is proposed to mitigate this loss, within the area shown to house garden refuse, fuel storage tanks and generators.

The Environment Agency has commented that the flood compensation area is shown to be behind an existing brick wall. The applicant has clarified that the wall is existing, and that the situation will not change from existing, but in any event, the wall is permeated with a gateway to the west, which will allow floodwaters to flow into this area. Whilst a final consultation response from the EA had not been received at the time of writing this report, it is considered that on the basis of the information provided by the applicant's qualified flood risk expert, the proposal would not lead to a greater flood risk on site, or elsewhere.

An update on this matter will be given at the Committee meeting, but it is not considered that flooding will pose a constraint on the development, subject to conditions.

ECOLOGY, TREES AND LANDSCAPING

Policy NBE4 of the HLP32 states that in order to conserve and enhance biodiversity, new development will be permitted where it does not have an adverse effect on the integrity of an international, national or locally designated site. Proposals should not result in a loss or deterioration of irreplaceable habitats, unless the need for, and benefits of the development in that location clearly outweigh the loss. Opportunities to protect and enhance biodiversity and to contribute to wildlife and habitat connectivity should be taken where possible. All development proposals will be expected to avoid negative impacts on existing biodiversity and

provide a net gain where possible.

The application is accompanied by an Ecological Assessment by Tyler Grange (EATG), dated Feb 2022, which considers the impact of the development on protected species present on the site, as well as the wider impact on the TBH SPA.

With regards to protected species, the EATG outlines that bats are known to be present on the site. Bat surveys were undertaken in 2020, and as a result a bat mitigation strategy has been included which reflects all the bat roosts identified during both the preliminary roost assessment, and detailed emergence surveys. The report also confirms that as the air raid shelter (to be removed) has no access points, no further survey work is required for that building. The proposed lighting scheme has been designed with input from the scheme's ecologist. Subject to the bat mitigation set out at Section 3 of that report being undertaken, no objection is raised to the scheme in terms of harm to bats or their roosts.

No harm to other protected species has been identified by either the applicant's, or the Council's ecologist. Whilst there is an offsite pond within 500m of the site, which has not been surveyed for Great Crested Newts (GCN), the MAGIC data available to the Council indicates that there are no records of GCNs at this site. The Council's ecologist therefore raises no objection in this regard. Natural England is satisfied that the proposal would not harm or destroy the interest features at the Castle Bottom to Yateley and Hawley Commons, Bramshill, Hazeley Heath, and Bourley and Long Valley SSSIs.

Policy NBE3 of HLP32 and Saved Policy NRM6 of the South-East Plan relate to the Thames Basin Heaths Special Protection Area and control impact on the ecological integrity of the designated area.

Natural England is satisfied that the proposed increase in hotel guests is not likely to pose a recreational disturbance that would have a significant effect on the TBH SPA.

Subject to a LEMP, CEMP and the works being undertaken in accordance with Section 3 of the EATG, the proposal is considered to comply with Policies NBE3 and NBE4 of the HLP32 and Policy NRM6 of the South East Plan.

The applicant has submitted a detailed Arboricultural Impact Assessment (AIA), Tree Survey (TS) and Arboricultural Method Statement (AMS), prepared by LLM Ltd. The TS outlines that collectively, the tree resource on site is considered to have high visual value and makes a moderate value to the local green infrastructure in terms of infrastructure value and ecosystem service provision. The trees also contribute to the historic and cultural value of the site.

Of the 181 trees on site, including 2 mature oak trees which are considered to be veteran trees - T171 is located to the far northeast of the site, beyond St Mary's Church and T312 is located to the southeast corner of the site, beyond Bluebell Cottages. The largest tree on site, T19, is located along the main entrance driveway through the estate, to the immediate north of the Water Tower.

Of the 14 trees to be removed as part of the development, 8 are of low quality, and a further two are advised to be removed irrespective of development. These trees are primarily located around Gardener's Cottage and are low to moderate quality but largely screened from public view.

One category A tree would be removed, and another tree (T14) would potentially be negatively affected by new service runs. However, in the overall context of the site, and having regard to the landscape improvements which would be delivered by the scheme, it is considered that

the scheme is acceptable in arboricultural terms, subject to conditions relating to the landscaping of the site and tree protection measures to be implemented prior to works taking place.

CLIMATE CHANGE

On 29th April 2021 Hart District Council agreed a motion which declared a Climate Emergency in Hart District. Policy NBE9 of the HLP32 requires proposals to demonstrate that they would:

- i) reduce energy consumption through sustainable approaches to building design and layout, such as through the use of low-impact materials and high energy efficiency; and
- j) they incorporate renewable or low carbon energy technologies, where appropriate.

Permanent buildings will use low carbon technologies as far as possible.

The proposal therefore meets the requirements of Policy NBE9 of the HLP32 and the NPPF in terms of sustainability/renewable or low-carbon energy technologies to address climate change.

EQUALITY

With regard to equality, the Council has a duty to promote equality of opportunity, eliminate unlawful discrimination and promote good relations between people who share protected characteristics and those who do not under the Equalities Act. The application raises no concerns about equality matters.

PLANNING BALANCE

Section 70(2) of the Town and Country Planning Act 1990 ("TCPA 1990") provides that the decision-maker shall have regard to the provisions of the development plan, so far as material to the application. Section 38(6) of the Planning and Compulsory Purchase Act 2004 (as amended) requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Page 39 The Hart Local Plan (Strategy & Sites) 2032 is a recently adopted and up to date development plan document. In determining an application, the decision maker must also have due regard to the NPPF, in particular paragraph 11 (ii).

The impact of the proposed development on heritage assets has been assessed in section 3 of the Planning Considerations set out above and whilst there are some very clear heritage benefits deriving from the works, particularly the repair and restoration of the Hall and Chapel and St Mary's church, there are also some harmful elements of the proposal. It is therefore appropriate to consider whether there are other public benefits which might outweigh that harm, including the optimum viable use of the heritage asset.

Historic England commented in its original consultation reply that the hotel use is likely to be the optimum viable use. To support this view, a Business Plan Review has been prepared on behalf of the applicant in order to demonstrate that the proposal represents the optimal viable use of the building, from a financial point of view. Officers have engaged the services of a hotel viability consultant, Avison Young (AY) which confirms that the business case presented by the applicant is viable and financially sound and provides sufficient scope to offer economic benefit to the region. With regards to the applicant's financial projections, it is anticipated that the business will be in a stabilised trading position within 3 years, which AY considers

reasonable.

It is noted that the proposal would also result in other economic benefits, namely the creation of local jobs throughout both the construction phase, and the operational phase, with the additional bedrooms and additional event and leisure facilities proposed. These facilities would also attract additional visitors to the local area, boosting the tourism economy more widely. Therefore, from an economic point of view, the hotel use as proposed is an optimum viable use. This attracts significant weight in the planning balance assessment.

In social terms, the refurbishment of the Hotel would facilitate the on-going use of the listed buildings on site and allow for its upkeep which would clearly be a benefit to current and future generations. The restoration of the historic parkland estate would provide cultural benefits in the locality and would help to preserve the rich and varied historical landscape of the region. Whilst some harm would occur to the historic setting of the buildings, through the design and form of the Spa building and Journeyman Cottages, and loss of the glasshouses, resulting in a loss of significance, when weighing this up against the social and cultural benefits the scheme would deliver, the overall outcome is considered to be beneficial, which also attracts significant weight in the planning balance assessment.

In environmental terms, it is noted that the site is not in a sustainable location and not well served by public transport. However, the site is already operating as an established hotel which is heavily reliant on the private car for guest travel. The scheme would secure the implementation of a Travel Plan, which includes a commitment to reducing unsustainable travel to and from the site. This is a clear benefit of the scheme.

The proposal would also result in the need for some mitigation of harm to protected species (bats) which weighs against the proposal. However, the proposal would also deliver the restoration of the estate and parkland and would secure a Landscape and Environmental Management Plan, which would deliver clear benefits to the local environment, including restoration of the grassland habitat, improvements to the river channel, removal of invasive species, and the creation of new habitat on site. Therefore, whilst recognising the need for mitigation for bats the proposal will result in an environmental benefit which attracts significant weight in the planning balance assessment.

OTHER MATTERS

Matters pertaining to heritage works which are not the subject of Listed Building Consent are subject to planning conditions, namely the works relating to the excavation of the events centre and archaeology. Other heritage conditions are recommended on the concurrent Listed Building Consent application ref: 21/02744/LBC.

CONCLUSION

The proposal would result in some harm to the heritage assets on site, which is identified above as being less than substantial, and within the middle of that spectrum. Great weight is attached to the preservation and enhancement of heritage assets.

Nonetheless, the scheme would provide a comprehensive range of environmental, social and economic benefits which, having regard to all material considerations, would outweigh the harm identified.

The proposal would comply with the Development Plan and NPPF 2021. Permission should

be granted, subject to conditions.

RECOMMENDATION – That, subject to a ‘**NO OBJECTION**’ being received from the Environment Agency by the 20th of July 2022, permission be **GRANTED subject to conditions and informatives**:

CONDITONS

- 1 The Development hereby permitted shall be begun before the expiration of three years from the date of this permission

REASON:

To comply with Section 91 of the Town and Country Planning Act 1990 (as amended)

- 2 The development hereby approved shall be carried out in accordance with the following plans and documents:

The Chapel Conservation Methodology Statements Carden & Godfrey January 2021

St Mary's Church Conservation Methodology Statements Carden & Godfrey January 2021

The Hall Service Courtyard Wall Methodology Statement Carden & Godfrey June 2021

Conservation Management Plan Historic Environment Associates June 2021

Exterior Condition Report (House, Stable, Church) Carden & Godfrey September 2020

Full Condition report (Gardener's Cottage, Water Tower) Carden & Godfrey November 2020

The Hall Interior Condition Report Carden & Godfrey March 2022

00-PL-00-101 Location Plan

01-PL-00-115 Proposed Site Plan Rev 04

01-PL-01-201 The Hall Demolition and strip out ground floor Rev 01

01-PL-01-202 The Hall Demolition and strip out first floor

01-PL-01-203 The Hall Demolition and strip out second floor

01-PL-01-204 The Hall Demolition and strip out roof

01-PL-01-240 The Hall Demolition and strip out sections

01-PL-01-260 The Hall Demolition and strip out elevations

01-PL-20-210 The Hall Basement Plan proposed Rev 01

01-PL-20-211 The Hall Ground Floor Plan proposed Rev 01

01-PL-20-212 The Hall First Floor Plan proposed Rev 01

01-PL-20-213 The Hall Second Floor Plan proposed Rev 01

01-PL-20-214 The Hall Roof Plan proposed Rev 01

01-PL-20-250 The Hall Proposed Sections Rev 01

01-PL-20-251 The Hall Proposed Sections Rev 01

01-PL-20-270 The Hall proposed NE and NW Elevations Rev 02

01-PL-20-271 The Hall Proposed SW Elevation (courtyard) Rev 01

01-PL-20-275 The Hall Proposed Materiality NE and NW Elevations Rev 03
01-PL-20-320 The Hall Chapel Demolition and strip out ground floor
01-PL-20-321 The Hall Chapel Demolition and strip out first floor
01-PL-20-322 The Hall Chapel Demolition and strip out section AA
01-PL-20-323 The Hall Chapel Demolition and strip out section BB
01-PL-20-324 The Hall Chapel Demolition and strip out section CC and DD
01-PL-20-327 The Hall Chapel Proposed Ground Floor Rev 02
01-PL-20-328 The Hall Chapel Proposed First Floor Rev 02
01-PL-20-332 The Hall Chapel Proposed Section AA Rev 02
01-PL-20-333 The Hall Chapel Proposed Section BB Rev 02
01-PL-20-334 The Hall Chapel Proposed Section CC and DD Rev 02
01-PL-20-335 The Hall Chapel Proposed Entrance Door Rev 02
01-PL-20-336 The Hall Chapel Proposed Jib Double Door Rev 02
01-PL-20-337 The Hall Chapel Proposed Balustrade Detail Rev 02
01-PL-20-350 Proposed Plan Extension, Details
01-PL-20-351 Proposed Sections Extension
01-PL-31-600 The Hall Proposed Window New Extension W10.04 details Rev 02
01-PL-31-601 The Hall Proposed Window New Extension W01.01 Details
01-PL-31-602 The Hall Proposed Window Existing Modern Extension Details Rev 02
01-PL-31-610 The Hall Proposed Door 0.01 details
01-PL-31-611 The Hall Proposed Door 0.02 details Rev 01
01-PL-31-612 The Hall Proposed Door 0.03 and 01.01 details
01-PL-31-615 The Hall Proposed Door 00.10 details Rev 01
01-PL-31-616 The Hall Proposed Door to service courtyard (replicating Teulon) 00.11 details
01-PL-31-617 The Hall Proposed double door replacement of window to 70s extension in inner courtyard 00.12 details
01-PL-31-619 The Hall Proposed Door 0.12 details
01-PL-31-625 The Hall Proposed Glass screen first floor
01-PL-31-626 The Hall Proposed glass screen second floor

03-PL-01-210 Event Centre Demolition of air raid shelter
03-PL 20-211 Event Centre Proposed Mezzanine Plan
03-PL 20-212 Event Centre Proposed Ground Floor Plan
03-PL 20-213 Event Centre Proposed Roof Plan
03-PL-20-250 Event Centre Proposed Section A
03-PL-20-251 Event Centre Proposed Section B Rev 01
03-PL-20-252 Event Centre Proposed Section C Events Centre Rev 02
03-PL-20-253 Event Centre Proposed Section D Events Centre Rev 02
03-PL-20-270 Event Centre Proposed South West Elevation Rev 02
03-PL-20-271 Event Centre Proposed North West Elevation Rev 02
03-PL-20-272 Event Centre Proposed North East Elevation Rev 02
03-PL 20-273 Event Centre Proposed South-East Elevation
03-PL 20-274 Event Centre Proposed Rendered Elevations
03-PL-20-275 Event Centre Proposed Rendered Elevations Rev 02
03-PL 20-400 Event Centre Typical Section and Plan details

04-PL-00-115 The Spa Proposed Site Plan Rev 03
04-PL-01-200 The Spa Demolition and strip out ground floor
04-PL-01-201 The Spa Demolition and strip out roof
04-PL-01-240 The Spa Demolition and strip out sections
04-PL-01-260 The Spa Demolition and strip out
04-PL-20-210 The Spa Proposed Ground Floor Plan Rev 02
04-PL-20-211 The Spa Proposed Roof Plan Rev 02

04-PL-20-250 The Spa proposed section Rev 02
04-PL-20-253 The Spa Proposed section details
04-PL-20-270 The Spa Proposed elevations Rev 02
04-PL-20-271 The Spa Proposed context elevations Rev 02
04-PL-20-272 The Spa Glasshouse Façade Diagram Rev 01
04-PL-20-273 The Spa Proposed West Elevation Rev 01
04-PL-20-275 The Spa Proposed elevations materials Rev 02
04-PL-31-600 The Spa External window details
04-PL-31-602 The Spa secondary glazing details Rev 02
04-PL-32-600 The Spa door details

05-PL-00-115 St Mary's Proposed Site Plan Rev 03
05-PL-01-200 St Mary's Church Demolition and strip out
05-PL-01-240 St Mary's Church Demolition and strip out sections
05-PL-01-241 St Mary's Church Demolition and strip out sections
05-PL-01-242 St Mary's Church Demolition and strip out sections
05-PL-01-243 St Mary's Church Demolition and strip out sections
05-PL-01-260 St Mary's Church Demolition and strip out elevations
05-PL-01-261 St Mary's Church Demolition and strip out elevations
05-PL-20-210 St Mary's Church proposed floor plans
05-PL-20-250 St Mary's Church Proposed sections
05-PL-20-251 St Mary's Church Proposed sections
05-PL-20-252 St Mary's Church Proposed sections
05-PL-20-253 St Mary's Church Proposed sections
05-PL-20-270 St Mary's Church Proposed elevations
05-PL-20-271 St Mary's Church Proposed elevations
05-PL-20-300 St Mary's Church Proposed Toilets
05-PL-24-600 St Mary's Church proposed balustrade details
05-PL-24-601 St Mary's Church proposed balustrade details
05-PL-31-600 St Mary's Church proposed Door 00.02 Details - porch on south entrance
05-PL-31-601 St Mary's Church proposed Door 00.04 - plant room
05-PL-31-602 St Mary's Church proposed Door 01.01 Details - internal into tower gf
05-PL-31-610 St Mary's Church proposed Window 0.00/01.02 Details - either side of porch on south elevation
05-PL-31-611 Window 00.05 details
05-PL-31-612 St Mary's Church proposed lateral windows nave secondary glazing Details
05-PL-63-600 St Mary's Church proposed lighting
05-PL-70-600 St Mary's Church proposed radiator casement

07-PL-00-115 Water Tower Proposed Site Plan Rev 03
07-PL-01-200 Water Tower Demolition and strip out ground floor
07-PL-01-201 Water Tower Demolition and strip out
07-PL-01- 240 Water Tower Demolition and strip out sections
07-PL-01- 241 Water Tower Demolition and strip out sections
07-PL-01- 260 Water Tower Demolition and strip out elevations
07-PL-01- 261 Water Tower Demolition and strip out elevations
07-PL-20-210 Proposed ground and first floor plans Rev 01
07-PL-20-211 Water Tower proposed 2nd, 3rd, 4th 5th and roof Plan
07-PL-20-250 Water Tower Proposed sections
07-PL-20-251 Water Tower Proposed sections
07-PL-20-253 Water Tower Proposed sections detail of insulation
07-PL-20-255 Water Tower Proposed sections materials Rev 01
07-PL-20-270 Water Tower Proposed elevations

07-PL-20-271 Water Tower Proposed elevations
07-PL-31-620 Water Tower Proposed door details
07-PL-31-621 Water Tower Proposed door details
07-PL-31-630 Water Tower Proposed window details
07-PL-31-631 Water Tower Proposed window details
07-PL-32-600 Water Tower Proposed water tank details

08-PL-00-115 Heather and Bluebell Cottages Proposed Site Plan Rev 03
08-PL-01-200 Heather Cottages demolition plan ground floor
08-PL-01-201 Heather Cottages demolition plan first floor
08-PL-01-202 Heather Cottages demolition plan roof
08-PL-01-203 Heather Cottages demolition plan section
08-PL-01-204 Heather Cottages demolition plan elevation
08-PL-01-210 Bluebell Cottages demolition plan ground floor
08-PL-01-211 Bluebell Cottages demolition plan first floor
08-PL-01-212 Bluebell Cottages demolition plan roof
08-PL-01-213 Bluebell Cottages demolition plan section
08-PL-01-214 Bluebell Cottages demolition plan elevation
08-PL-20-220 Heather Cottages proposed ground floor plan Rev 02
08-PL-20-221 Heather Cottages proposed first floor plan Rev 03
08-PL-20-222 Heather Cottages proposed roof plan Rev 02
08-PL-20-223 Heather Cottages proposed section Rev 02
08-PL-20-224 Heather Cottages proposed section Rev 02
08-PL-20-225 Heather Cottages proposed section Rev 02
08-PL-20-226 Heather Cottages proposed section Rev 02
08-PL-20-227 Heather Cottages proposed elevation cottage 1 Rev 02
08-PL-20-228 Heather Cottages proposed elevation cottage 2 Rev 02
08-PL-20-229 Heather Cottages proposed elevation cottage 3 Rev 02
08-PL-20-240 Bluebell Cottages proposed ground floor plan Rev 02
08-PL-20-241 Bluebell Cottages proposed first floor plan Rev 02
08-PL-20-242 Bluebell Cottages proposed roof plan Rev 02
08-PL-20-243 Bluebell Cottages proposed sections Rev 02
08-PL-20-244 Bluebell Cottages proposed sections Rev 02
08-PL-20-245 Bluebell Cottages proposed sections Rev 02
08-PL-20-246 Bluebell Cottages cottage 1 proposed elevations Rev 02
08-PL-20-247 Bluebell Cottages cottage 2 proposed elevations Rev 02
08-PL-20-270 Cottages general elevation proposed Rev 02
08-PL-20-271 Cottages general elevation proposed with landscaping Rev 02
08-PL-20-280 Heather Cottage 2 coloured with materials Rev 02
08-PL-20-281 Bluebell Cottage 2 coloured with materials Rev 02

10-PL-20-230 Refuse Storage 2 Proposed Ground Floor and Roof Plan
10-PL-20-235 Refuse Storage Proposed Sections
10-PL-20-240 Refuse Storage Proposed Elevations
10-PL-20-241 Refuse Storage 2 Proposed Elevations
10-PL-20-250 General Arrangement plan Garden Yard Rev 01
10-PL-20-255 Garden and Refuse Storage Proposed Ground Floor Plan
10-PL-20-256 Garden and Refuse Storage Proposed Roof Plan
10-PL-20-257 Proposed Sections Wilder Gardens Rev 02
10-PL-20-258 Proposed Elevations Wilder Gardens Rev 02
10-PL-20-259 Proposed Elevations Walls Wilder Gardens Rev 02
10-PL-31-600 Proposed main entrance gate
10-PL-31-605 proposed gate to car park

11-PL-00-115 Journeyman Cottages Proposed Site Plan Rev 02
11-PL-01-200 Journeyman Cottages Demolition and strip out floor plans
11-PL-01-201 Journeyman Cottages Demolition and strip out roof
11-PL-01-240 Journeyman Cottages Demolition and strip out sections
11-PL-01-260 Journeyman Cottages Demolition and strip out elevations
11-PL-20-210 Journeyman Cottages Proposed ground and first floor plans
11-PL-20-211 Journeyman Cottages Proposed roof plan
11-PL-20-250 Journeyman Cottages Proposed sections showing detail of insulation
11-PL-20-270 Journeyman Cottages Proposed Elevations
11-PL-20-271 Journeyman Cottages Proposed Elevations materials
11-PL-20-275 Journeyman Cottages Proposed Elevations in context Rev 02
11-PL-31-600 Journeyman Cottages Proposed opening in garden wall

REASON:

To ensure provision of satisfactory development and to protect the natural and historic environment in compliance with Policies NBE1, NBE2, NBE3, NBE4, NBE8 and NBE9 of the Hart Local Plan (Strategy & Sites) 2032, saved Policy GEN1 of the Hart Local Plan (Replacement) 1996-2006 Saved Policies and Saved Policy NRM6 of the South-East Plan 2009.

- 3 Prior to the first use of the first use of the Spa building hereby approved, details of the phasing of the delivery of the proposed additional car and bicycle parking shall be submitted to and approved in writing. The phasing of delivery of car and bicycle parking spaces shall be designed such that the relevant number of car parking spaces available on site meets the requirements of Interim Parking Guidelines 2008 for each phase of development. The car and bicycle parking shall thereafter be provided, retained and maintained in accordance with the submitted details.

REASON:

In the interests of promoting sustainable modes of transport and to comply with Policies SD1 and INF3 of the HLP 32.

- 4 The development shall be carried out in strict accordance with Section 3 (Bat Mitigation) of the submitted Amended Ecological Assessment (Tyler Grange Feb 2022). No variation shall take place without the prior written agreement of the LPA.

REASON:

In the interests of the biodiversity of the site and to accord with Policy NBE4 of the HLP 32.

- 5 Notwithstanding the submitted details, an updated Construction Environmental Management Plan (CEMP) shall be submitted to and approved in writing, prior to the commencement of development. The CEMP shall include updated procedures in the event of a bat being found, refer to the recommended PMS and Licensing requirements, overnight lighting during the works, and include the recommendations of the Ecological Assessment for other species, especially breeding birds. The development shall thereafter be undertaken in strict accordance with the agreed details, unless otherwise first agreed in writing by the LPA.

REASON:

In the interests of the biodiversity of the site and to accord with Policy NBE4 of the HLP 32.

- 6 Prior to the commencement of development, a Landscape and Ecological Management Plan (LEMP) shall be submitted to and approved in writing by the LPA. The development shall thereafter be implemented in strict accordance with the approved details, unless otherwise first agreed in writing by the LPA.

REASON: In the interests of the biodiversity of the site and to accord with Policy NBE4 of the HLP 32.

- 7 The development shall be carried out in strict accordance with the submitted Lighting Specification and Details by SKR Lighting Design dated 03.03.2022 and Lighting Implementation document dated March 2022. No variation to the approved details shall take place unless otherwise first agreed in writing by the LPA.

REASON:

In the interests of the biodiversity of the site and to accord with Policy NBE4 of the HLP 32.

- 8 The drainage system shall be constructed in accordance with the approved documentation ref 2432 Drainage Strategy by Heyne Tillett Steel dated 18.10.21 and Additional Information dated January 2022. Surface water discharge to the main river shall be limited to the approved discharge rates. Any changes to the approved documentation must be submitted to and approved in writing by the Local Planning Authority and Lead Local Flood Authority. Any revised details submitted for approval must include a technical summary highlighting any changes, updated detailed drainage drawing and detailed drainage calculations.

REASON:

In the interests of controlling surface water drainage from the site and to minimise flood risk on site and elsewhere, in accordance with Policy NBE5 of the HLP 32.

- 9 The condition of the existing drainage system, which will take surface water from the development site, should be investigated before any connection is made. If necessary, improvement to its condition as reparation, remediation, restitution, and replacement should be undertaken. Evidence of this, including photographs should be submitted to and approved in writing by the LPA and LLFA.

REASON:

In the interests of controlling surface water drainage from the site and to minimise flood risk on site and elsewhere, in accordance with Policy NBE5 of the HLP 32.

- 10 Details for the long-term maintenance arrangements for the surface water drainage system shall be submitted to and approved in writing by the LPA prior to the first use of the Spa building hereby permitted. The submitted details shall include:

- a. Maintenance schedules for each drainage feature type and ownership, and
- b. Details of protection measures.

The drainage system shall thereafter be implemented, retained and maintained in accordance with the approved details.

REASON:

In the interests of controlling surface water drainage from the site and to minimise flood risk on site and elsewhere, in accordance with Policy NBE5 of the HLP 32.

- 11 No construction or demolition activity shall be carried out and no construction related deliveries shall occur, taken at or dispatched from the site except between the hours of 7:30 hours and 18:00 hours on Monday to Friday and 08:00 hours and 13:00 hours on Saturday except in the case of Bank or Public Holidays when no such activities or deliveries shall take place. No such activities or deliveries shall take place on Sundays.

REASON:

In the interests of the amenity of the area and to comply with saved Policy GEN1 of the HLP06.

- 12 No development shall commence (excluding demolition) until a detailed contaminated land report to assess potential contaminants has been prepared, submitted, and agreed in writing with the Local Planning Authority in accordance with the 3-stage strategy below.

A. Site Characterisation

The investigation and risk assessment must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on the site. The contents of the scheme are subject to the approval in writing of the Local Planning Authority. The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing of the Local Planning Authority. The report of the findings must include:

- (i) a survey of the extent, scale and nature of contamination;
- (ii) an assessment of the potential risks to:
 - human health,
 - property (existing or proposed) including buildings, service lines and pipes,
 - adjoining land,
 - groundwaters and surface waters,
 - ecological systems,
- (iii) an appraisal of remedial options, and proposal of the preferred option(s).

This must be conducted in accordance with DEFRA and the Environment Agency's 'Model Procedures for the Management of Land Contamination, CLR 11'.

B. Submission of Remediation Scheme

A detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment must be prepared and is subject to the approval in writing of the Local Planning Authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

C. Implementation of Approved Remediation Scheme

The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out remediation, unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

D. Following completion of measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be produced and is subject to the approval in writing of the Local Planning Authority.

REASON:

In the interest of the occupiers' health and amenity and to satisfy Policy NBE11 of the HLP32, saved Policy GEN1 of the HLP06 and the NPPF.

- 13 Notwithstanding Condition 12, should any land contaminants or unexpected ground conditions be identified during the course of development then ground works shall cease, and the Environmental Health Department shall be notified so that any required remediation can be approved in writing before implementation.

REASON:

In the interest of occupiers' health and residential amenity and to satisfy Policy NBE11 of the HLP32, saved Policy GEN1 of the HLP06 and the NPPF.

- 14 The development hereby approved shall be undertaken in full accordance with the contents and recommendations of the submitted Arboricultural Impact Assessment (210201_AI, dated 24/02/22) and Arboricultural Method Statement (210201_AMS, dated 24/02/22), both by Land and Landscape Management Ltd. All tree protection measures specified therein shall be retained and maintained for the duration of the works in accordance with the submitted details, and in all cases in accordance with BS 5837:2012 'Trees in relation to design, demolition, and construction – Recommendations'.

REASON:

To ensure the continued protection of trees from potential adverse impacts of the development, to maintain the amenity value of trees on site and to accord with Policy NBE9 and saved policy CON8 of the Hart Local Plan 2032.

- 15 No below ground development pursuant to this permission (excluding any wholly internal alterations or above ground repair works to existing buildings on site) shall be undertaken until the developer has secured the implementation of an archaeological mitigation plan. The archaeological mitigation plan shall include but not necessarily be limited to evaluation, monitoring, historic building recording, proposed mitigation and a programme for publication and reporting including post excavation analysis, specialists reports and assessments and public engagement as set out within a written scheme submitted to and approved by the local planning authority.

REASON:

To ensure that any impact on the significance of unknown archaeological deposits is identified and mitigated to comply with Policy NBE8 of the Hart Local Plan and the NPPF.

- 16 Prior to commencement of the walled garden landscaping works as set out in the

submitted List of Works and as shown on on Plan number 2010/03/02E, written specifications of the hard and soft landscaping of the site shall be submitted to and approved in writing by the local planning authority.

Hard landscaping details shall include proposed finished levels or contours; means of enclosure; car parking layouts; other vehicle and pedestrian access and circulation areas; hard surfacing materials; minor artefacts and structures; proposed and existing functional services above and below ground (eg. drainage power, communications cables, pipelines etc. indicating lines, manholes, supports etc.); retained historic landscape features and proposals for restoration, where relevant.

Soft landscaping details shall include planting plans, schedules of plants, noting species, plant size and proposed numbers/densities, as well as a programme for implementation. The details shall include a detailed programme of works, including timeframes for implementation.

The hard and soft landscaping of the site shall thereafter be implemented, retained and maintained in accordance with the approved details.

REASON:

To secure the enhancement of the designated landscape and gardens in accordance with policies NBE2 and NBE8 of the HLP32.

17. Prior to the commencement of any landscaping works shown on plan numbers 2010/03/03B and 2010/03/04D, written specifications of the hard and soft landscaping shown therein shall be submitted to and approved in writing by the local planning authority.

Hard landscaping details shall include proposed finished levels or contours; means of enclosure; car parking layouts; other vehicle and pedestrian access and circulation areas; hard surfacing materials; minor artefacts and structures; proposed and existing functional services above and below ground (eg. drainage power, communications cables, pipelines etc. indicating lines, manholes, supports etc.); retained historic landscape features and proposals for restoration, where relevant.

Soft landscaping details shall include planting plans, schedules of plants, noting species, plant size and proposed numbers/densities, as well as a programme for implementation. The details shall include a detailed programme of works, including timeframes for implementation.

The hard and soft landscaping of the site shall thereafter be implemented, retained and maintained in accordance with the approved

REASON:

To secure the enhancement of the designated landscape and gardens in accordance with policies NBE2 and NBE8 of the HLP32.

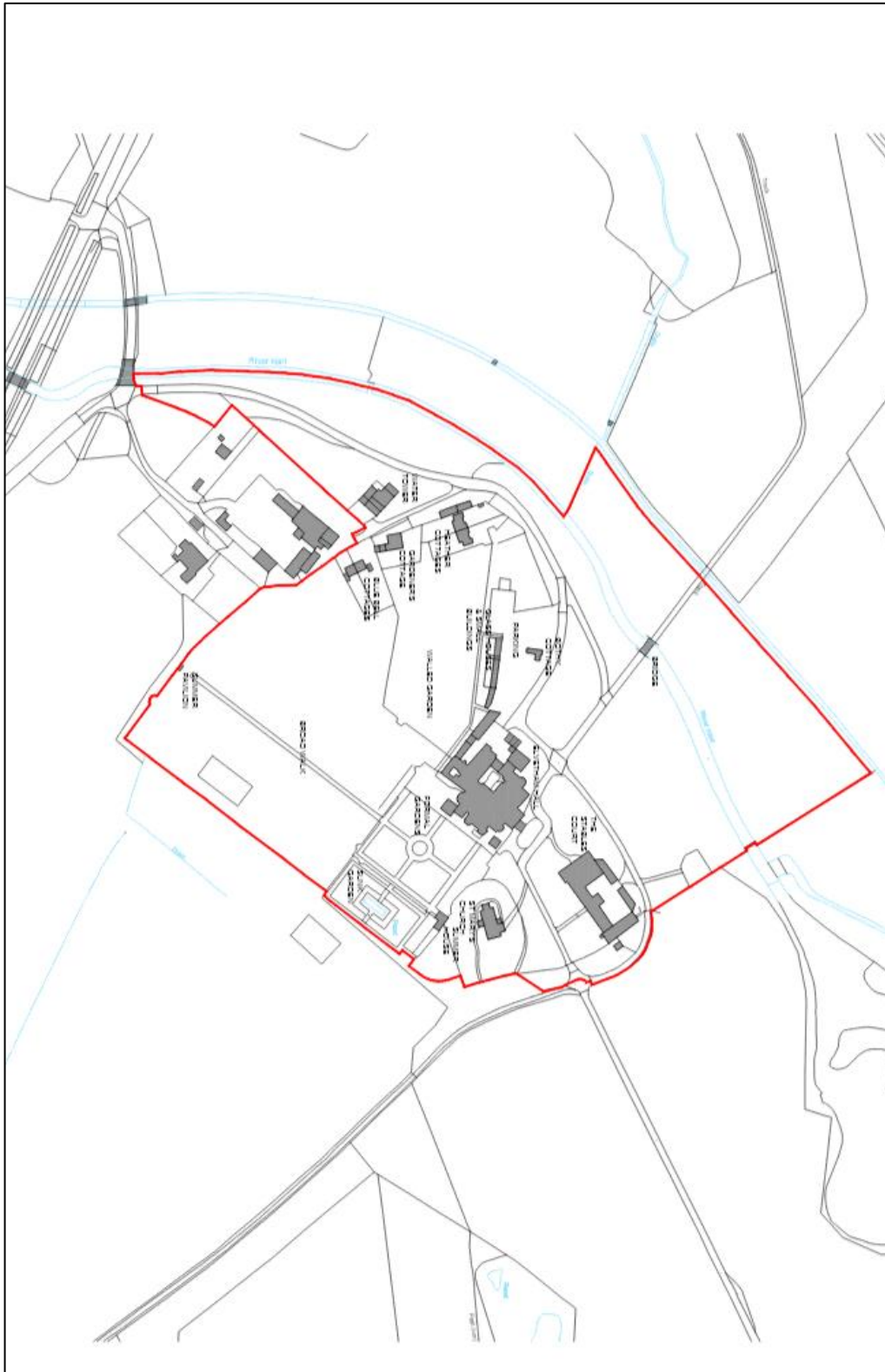
INFORMATIVES

1. The Council works positively and proactively on development proposals to deliver sustainable development in accordance with the NPPF. In this instance:

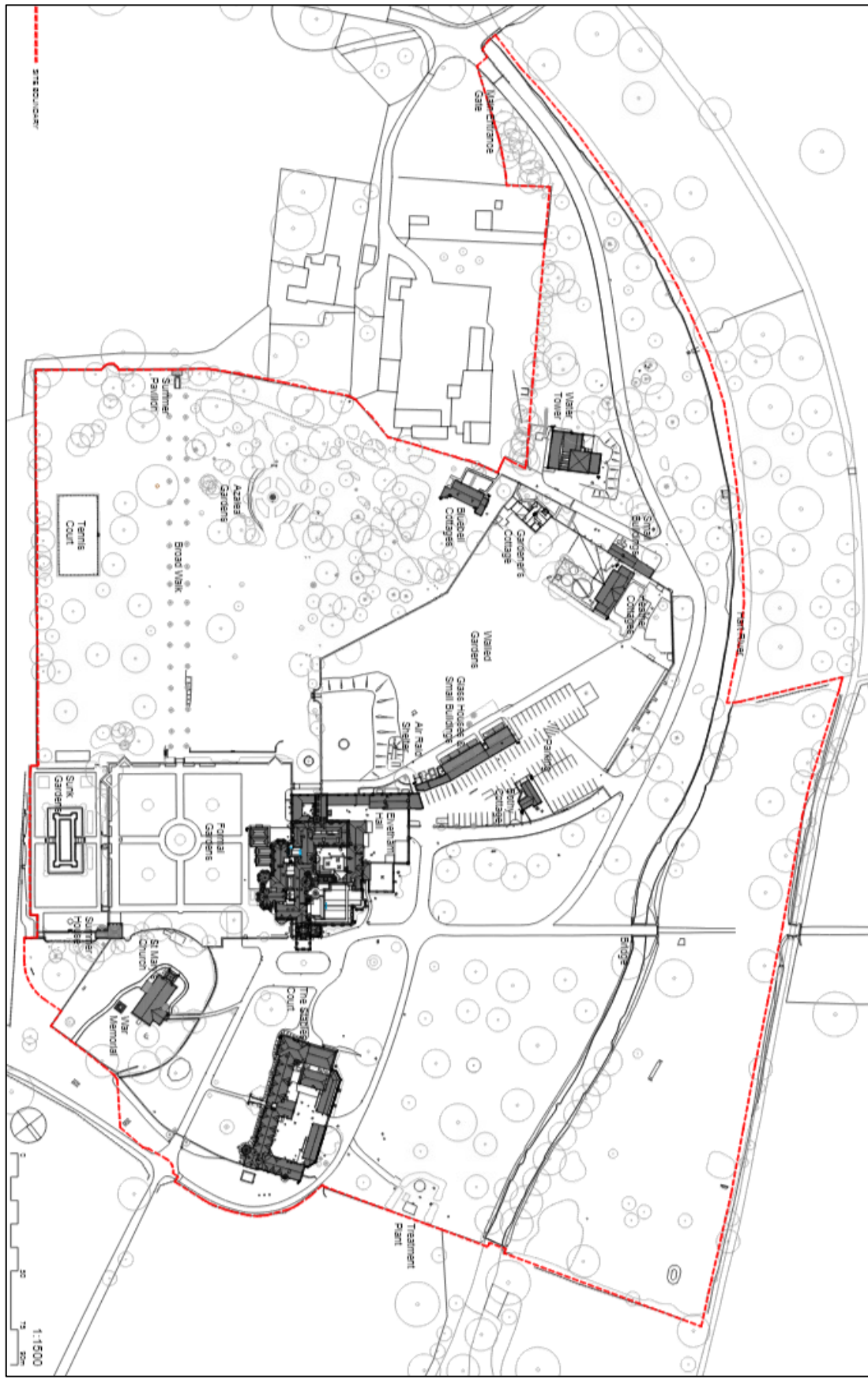
The applicant was advised of the necessary information needed to process the application and once received, the application was acceptable and no further engagement with the applicant was required.

2. No builders' or contractors' vehicles, machinery, equipment, materials or anything associates with the works should be left on or near the footpath so as to obstruct, hinder or provide a hazard to users.
3. Nothing connected with the development, or its future use should have an adverse effect on the right of way, which must always remain available for public use.
4. Hart District Council has declared a Climate Emergency. This recognises the need to take urgent action to reduce both the emissions of the Council's own activities as a service provider but also those of the wider district. The applicant is encouraged to explore all opportunities for implementing the development approved by this permission in a way that minimises impact on climate change.
5. The applicant is advised that under the Wildlife and Countryside Act 1981 and the Conservation of Habitats and Species Regulations 2017, bats are a protected species, and it is illegal to intentionally or recklessly damage, disturb or destroy a bat or its habitat. If any evidence of bats is found on site, Natural England must be informed and a licence for development obtained from them prior to works continuing. For further information go to www.naturalengland.org.uk or contact Natural England (S.E. regional office) on 0238 028 6410.
6. Any heritage harm identified would need to be considered in the overall planning balance and it would need to be determined if the harm could be avoided and where it couldn't be then there would need to be clear and convincing justification for the development/works proposed.

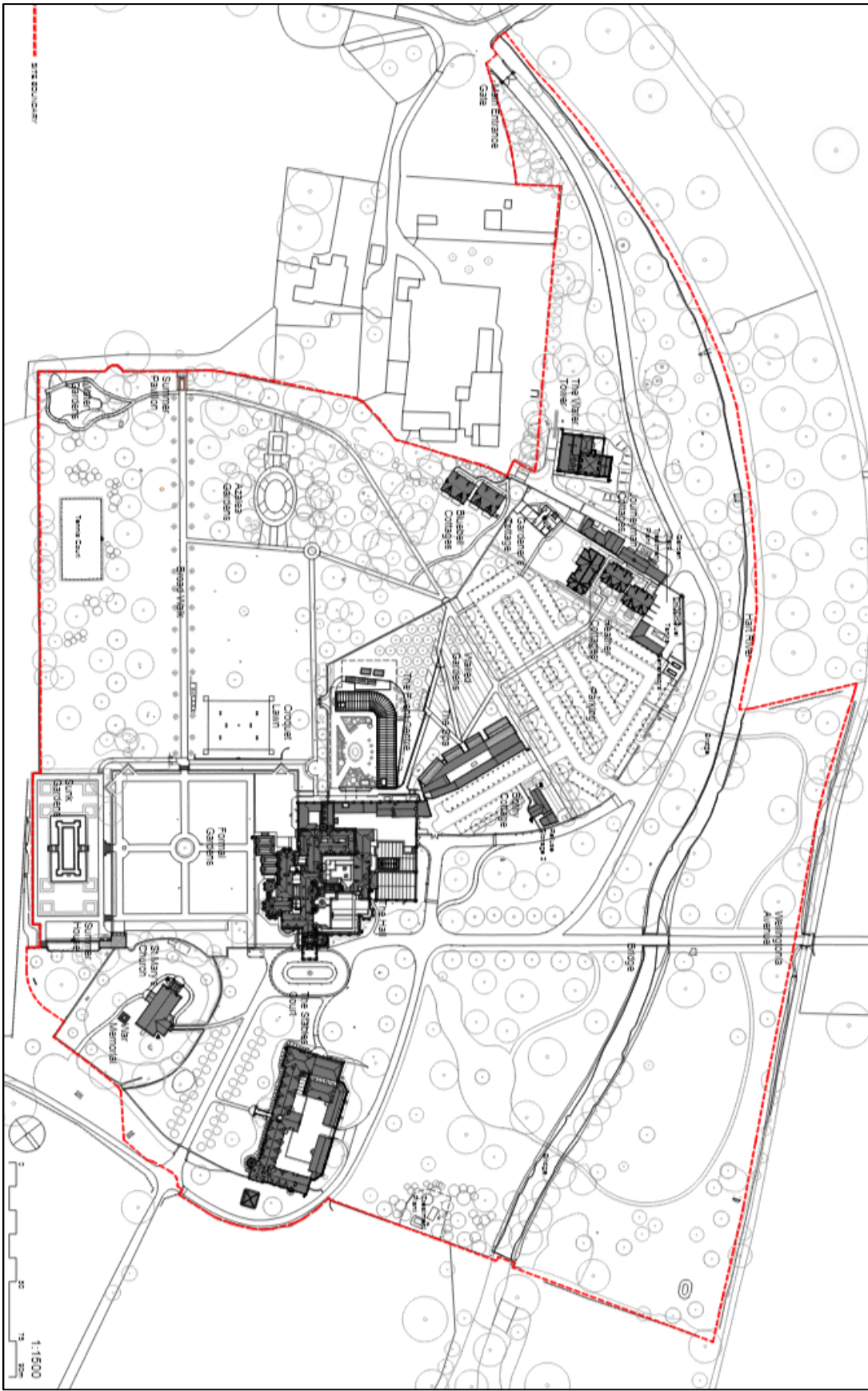
Location Plan



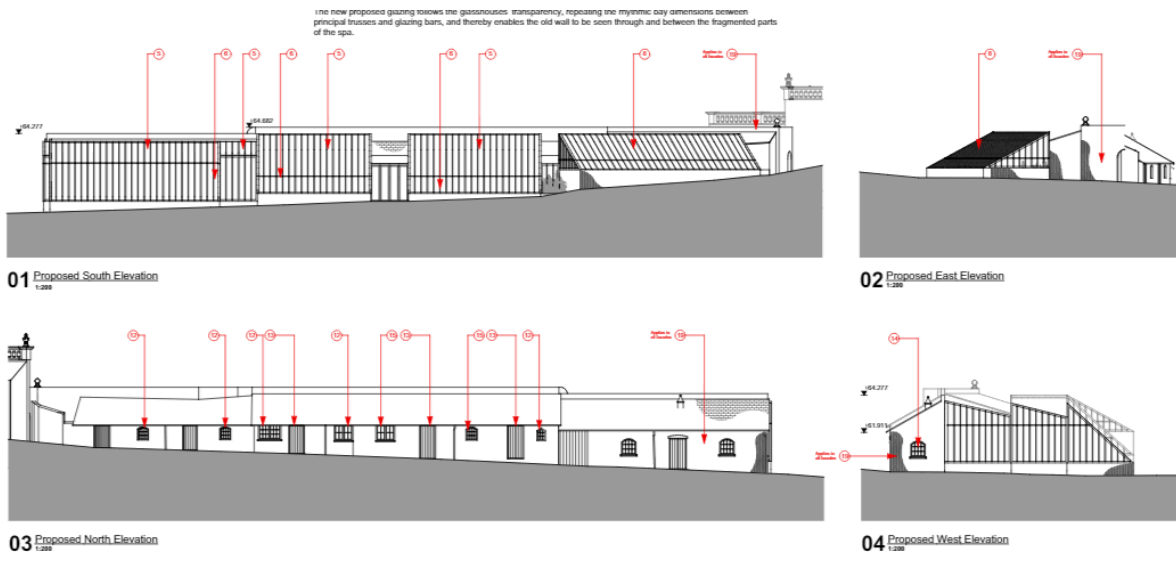
Existing site plan



Proposed site plan

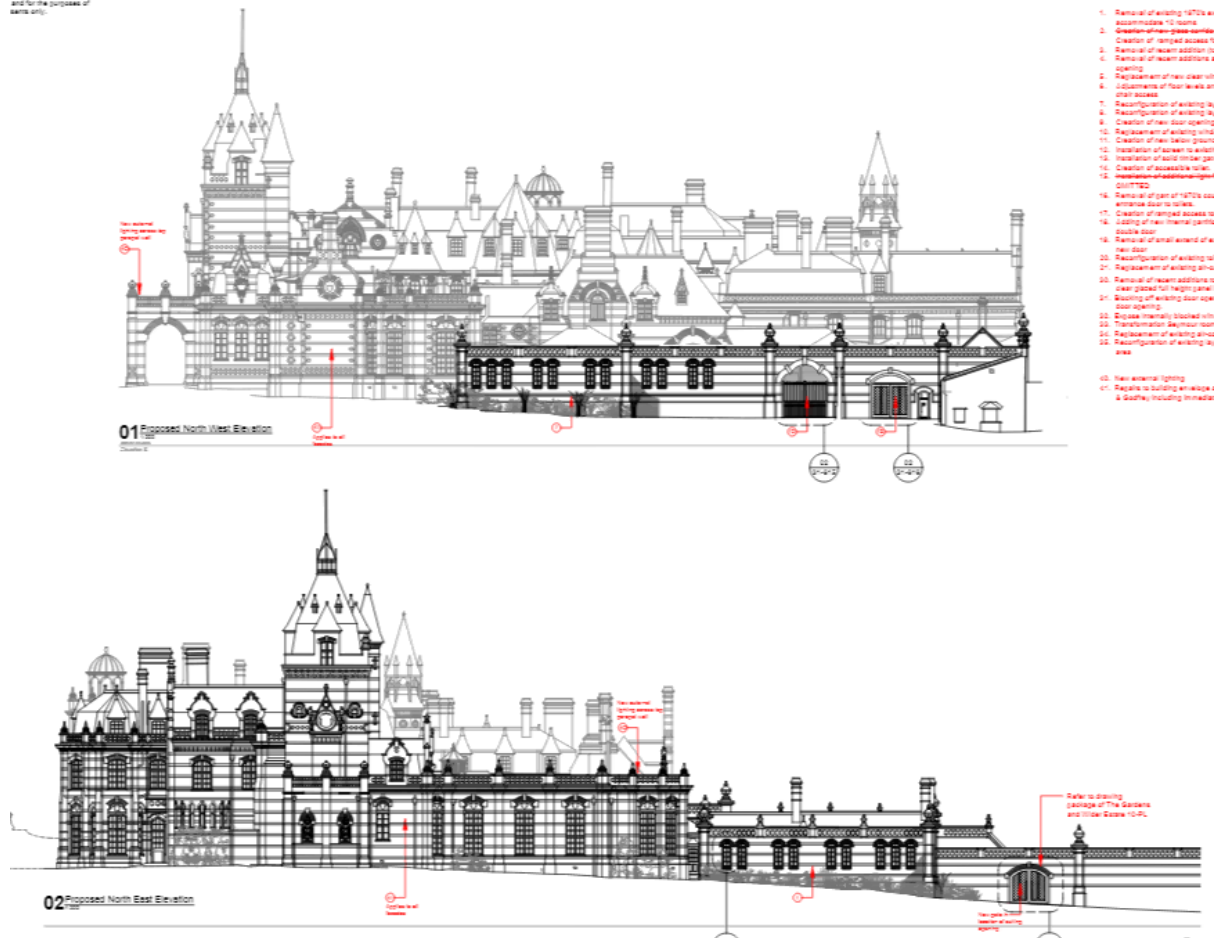


The Spa – proposed elevations



The main hall – proposed elevations

All drawings are as
originally issued
and for the purposes of
access only.



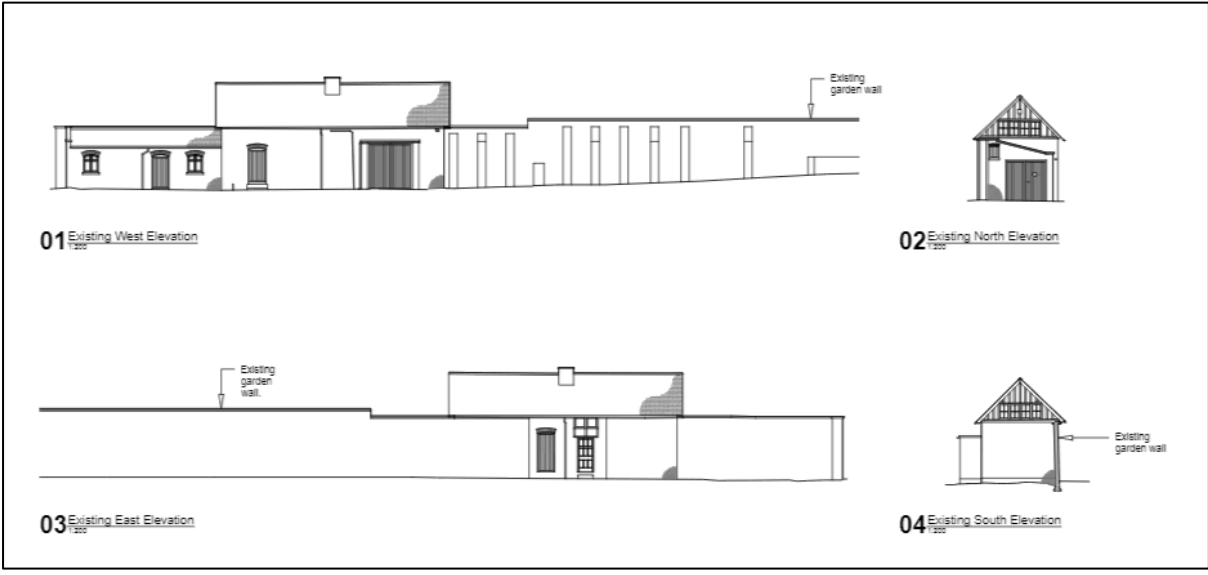
Heather Cottage – existing elevations



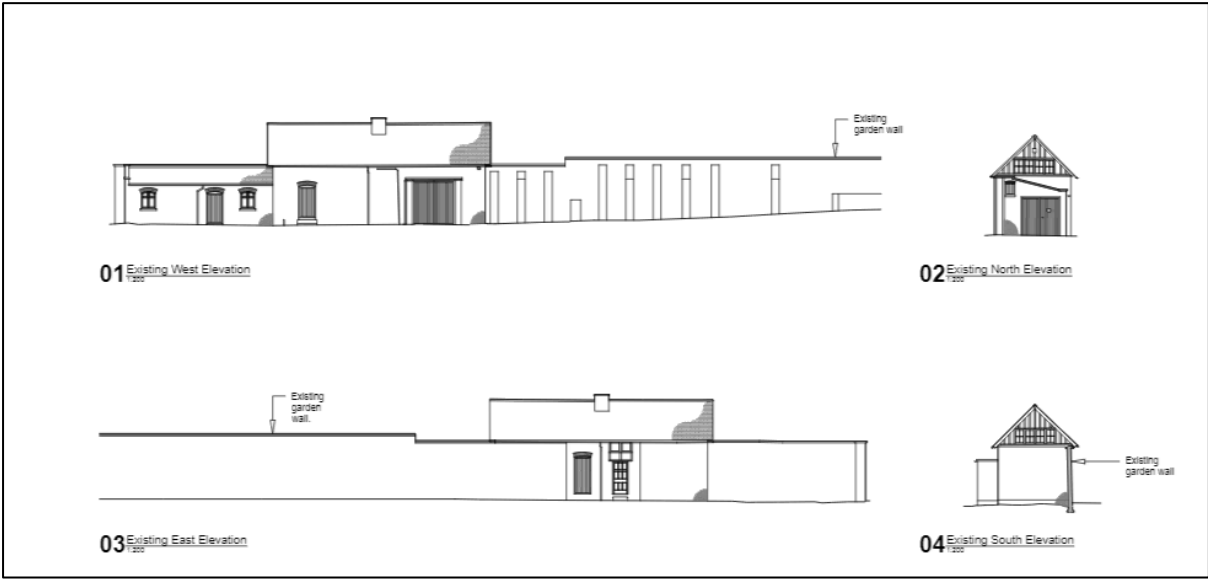
Heather Cottage – proposed elevations



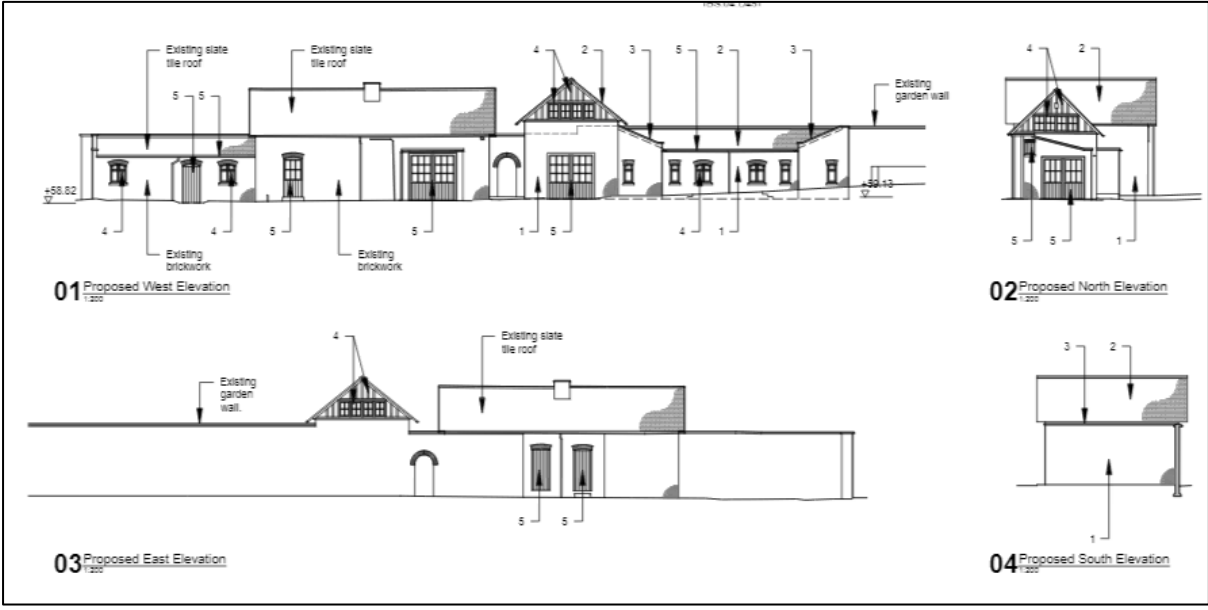
Journeyman Cottages – existing elevations



Journeyman Cottages – existing elevations



Journeyman Cottages – proposed elevations



Bluebell Cottages – existing elevations

As the Developer shown on the drawings are authorized by Council.
 All drawings by these Architects are based on Council's survey and for the
 purpose of the planning and listed building consents only.

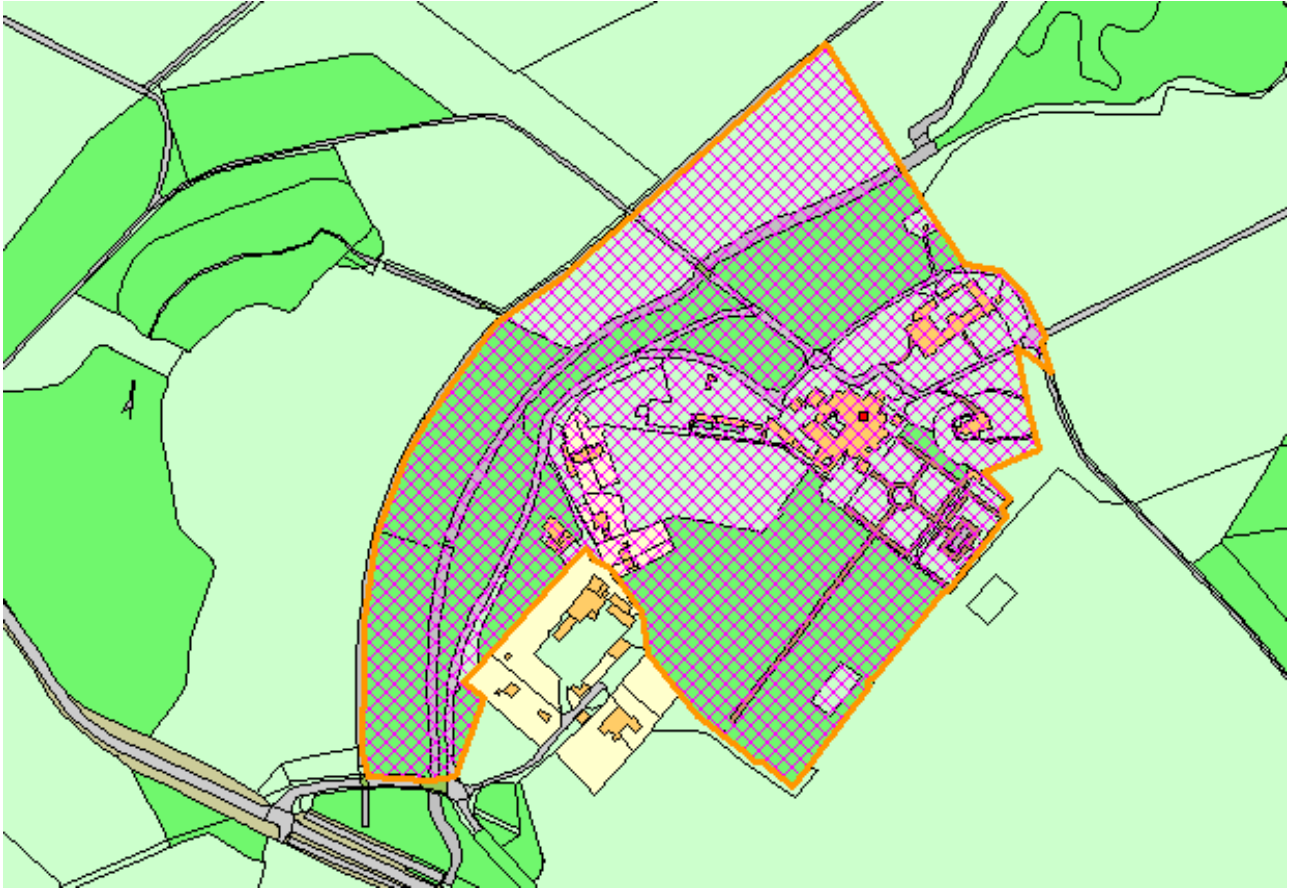


Proposed elevations – Bluebell Cottage



COMMITTEE REPORT ITEM NUMBER 11:

APPLICATION NO.	21/02744/LBC
LOCATION	The Elvetham Hotel Fleet Road Hartley Wintney Hook Hampshire RG27 8AR
PROPOSAL	<p>Alterations to and extension of The Elvetham Hotel (to include the provision of 46 guest accommodation units) including:</p> <ul style="list-style-type: none">- Repair and restoration of chapel within Elvetham Hall- Demolition of 1970s extension to Elvetham Hall and erection of a single storey extension to accommodate new rooms- Partial demolition of existing extension and reinstatement of internal courtyard to Elvetham Hall- Various other minor internal and external alterations to Elvetham Hall- Demolition of underground air raid shelter- Erection of an events centre featuring basement, ground floor and mezzanine floor and a subterranean access from service wing- Demolition of glasshouses- Erection of new building attached to existing garden wall and small buildings for use as a spa- Renovation and conversion of St Mary's Church to provide function facility- Refurbishment of water tower to include installation of platform lift and conversion to guest accommodation units- Demolition of Bluebell Cottages and the erection of 2 two storey buildings to provide guest accommodation units- Demolition of Heather Cottages and the erection of 3 two storey buildings to provide guest accommodation units- Conversion of garden store and erection of a part single part two storey building to be known as Journeyman Cottages to provide guest accommodation units- Erection of refuse storage building- Erection of fuel tanks, generators- Replacement of one and creation of one sewerage treatment plant and associated utilities- Resurfacing, rearrangement and extension to car parking- Hard and soft landscaping works- Replacement entrance gates- Formation of gardener's yard- Lighting Scheme
APPLICANT	Elvetham Hall (Property Ltd)
CONSULTATIONS EXPIRY	14 June 2022
APPLICATION EXPIRY	7 February 2022
WARD	Hartley Wintney
RECOMMENDATION	Grant, subject to planning conditions



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BACKGROUND

This Listed Building Consent application is brought to Planning Committee at the request of the Head of Place. The proposal involves complex heritage and economic arguments and is required to be debated in public.

THE SITE

The application site is located off the Fleet Road (A323) between Fleet and Hartley Wintney and comprises some 12 hectares of the former Elvetham estate and is outside of any defined settlement policy boundary.

The site is a Grade II Registered Park and Garden (RPG) in which there are the following designated heritage assets:

- The Grade II* Hall.
- The Grade II Stable Court.
- The Grade II St Mary's Church.
- The Grade II Water Tower.
- The Grade II Gardeners Cottage.
- The Grade II garden features including the listed bridge and garden walls.

In addition, there are the curtilage listed glasshouses and Bothy Cottage (undesignated heritage assets) and the modern Bluebell Cottages and Heather Cottages.

The main house was extended in the early 1900s and subsequently in 1970 on north-east elevation and a conservatory was added to south east elevation in 1956 and extended 1997-8. The landscape was enhanced in the early 20th by William Goldring.

The estate was emparked in 1359 and evolved from a mediaeval hunting park which dates back to the Norman period and is mentioned in the Domesday Book. It was owned by the Seymour family from 1426 and Edward Seymour entertained Henry VII there in 1535 and Elizabeth 1 visited for 4 days in 1591. The Tudor house burned down in the mid 19th century and was rebuilt in more or less its present form by the Calthorpes between 1859 - 1862. It was designed by the architect Samuel Sanders Teulon one of the leading proponents of this highly ornate Victorian Gothic style.

The main house was extended in the early 1900s and subsequently in 1970 on north-east elevation and a conservatory was added to south east elevation in 1956 and extended 1997-8. The landscape was enhanced in the early 20th by William Goldring.

Until the early 1950s it was a private country mansion but used as a Red Cross hospital in the 1914-18 war. It became a management training centre in 1953 and continued in this use until 2002, when planning permission was granted for use as a hotel use. The current owners acquired the property in 2019.

The hotel currently has 72 bedrooms (43 in the Hall and 29 in the stables of which only one is accessible), 15 meeting rooms (in the Hall and in the Stables) and 6 staff apartments (one in the Bothy, one in the Gardener's Cottage, two in Bluebell Cottages and 2 in Heather Cottages). There is a restaurant and bar in the Hall. There is a chapel in the Hall which is now divided with a mezzanine floor into an office and store. The church on the estate, St Mary's, was converted into a squash court in the 70s and is now used as a store. The walled garden has some disused glass houses backing onto a row of small buildings which separate it from the car park with 87 parking spaces.

The River Hart encircles the site to the north and west and part of the site is in Flood Zones 2 and 3, although the Hall sits on elevated ground in Flood Zone 1.

A public footpath runs from the Elvetham old rectory across a small part of the site to the south entrance of the church.

PROPOSAL

The proposal is for conversion, alteration and replacement of existing buildings to provide a total of 132 bedrooms of which 7 will be accessible and 3 adaptable; erection of a spa; creation of 4 event spaces, 4 multifunctional public rooms, a restaurant, and a bar.

There are improvements proposed to the facilities through works to the Hall, the modern buildings, the water tower, the church, provision of utility buildings and structures and landscape restoration. These works are described in more detail below.

The Hall

- Replacement of the existing 1970s extension to the north west elevation (front) of Elvetham Hall (which has 6 rooms that can only be accessed from the outside and are rarely booked) and modern garages and store with a new extension to provide 10 rooms with a better design and layout (net gain of 4 rooms) using the same building line and at the same height and of the same architectural style and materials as the 20th century wall enclosing the service courtyard.
- Removal of the modern toilet extension within the internal courtyard.
- Restoration of the Chapel.
- Alterations to internal layout to accommodate underground access to the new events centre in the Walled Garden, create a wedding suite and improve servicing arrangements.

The Walled Garden

- Replacing the disused glasshouses with a new glazed spa building.
- Recreate formal garden at top of slope and create an underground events centre with a superstructure.
- Remove mid-20th century air-raid shelter.
- Increase size of car park.
- Landscaping and paths and water feature.

St Mary's Church

- Convert to events centre.
- Repair of the external envelope.
- Removal of Squash Court and all recent additions.
- Conservation and repair (where applicable) of existing historic elements.
- Creation of a new accessible toilet and 2 unisex toilets.
- Reinstatement of original levels on main gallery.
- New floor finish in the main nave.
- Installation of new lighting, heating and plant.
- Amendment of existing levels to achieve compliance with part M Building Regulations (regarding DDA).

Water Tower

- Convert to guest accommodation with event space in former water tank.
- Re-configuration of existing openings.
- Change the main entrance louvred door panel to a wooden tongue and groove panel.
- Remove timber boarding.
- Reinstate original windows.
- Re-configure existing roof pitch. Install A/C air cooled condensing units in the roof valley.
- Install roof light.
- Install 3 floor levels.
- Retain cast iron spiral stair and pumping equipment and metal beams used to support the full water tank.
- Insulate space between rafters and clad in timber boarding.
- Form openings in water tank for event space access.
- Install secondary glazing.

Other works

- Demolish Bluebell and Heather Cottages and replace with new buildings to provide guest accommodation.
- Conversion of gardener's stores/workshops to guest accommodation.
- Re-configuration, re-landscaping and resurfacing of the existing 87 dedicated car parking spaces and creation of 45 new car parking spaces including accessible parking spaces plus bicycle parking.

Note:

Permission has been granted for works to the Stables to increase the number of bedrooms from 29 to 48 with 2 accessible (planning ref 20/0344/FUL). Further amendments to that scheme are being considered under applications 22/00760/FUL and 22/00761/LBC and works to the stables do not form part of this application.

RELEVANT PLANNING HISTORY

The site has an extensive planning history, the most relevant is listed below.

53/01349/HIST AA sign approved 14.12.1953

55/01942/H Erection of external staircase (stable block) approved 08.09.1955

56/02324/H Erection of two nissen type huts for storage purpose 17.09.1956

56/02388/H Erection of Glazed addition to dining room Approved 10.11.1956

67/06026/H Erection of 3 garages for staff use approved 27.02.1967

70/06796/H Alterations to existing garage to form a games room approved 20.08.1970

75/01713/HD Erection of bedroom complex. Approved 12.11.75

HDC 6040 - Proposed boiler house (stable block) - Approved 22.08.1979

81/08064/HD Demolition of existing garage and erect pair of semi-detached dwellings refuses 13.05.1981

84/12185/FUL - Erection of bedroom complex (stable block)- Approved 29.01.1985 useful plans

90/19218/FUL Installation of additional sewage treatment plant together with new details approved 12.04.1990

91/00782/LBC - Demolition of 2 single storey stores and erection of 2 new bedrooms and jacuzzi/sauna. Reconstruction of external wall and roof to part of existing games/exercise sitting area and construct within roof 2 additional bedrooms (stable block) - Granted 03.04.1991

91/20327/FUL - Erection of extension to provide 4 additional bedrooms and Jacuzzi (stable block) - Approved 03.04.1991

95/00867/LBC Insertion of a glazed door/screen to front entrance to form a storm lobby.11.04.1996

95/00474/LBC New doorway, Alterations to existing doorway, New ceilings & other minor amendments to reception area 31.07.1995

95/00861/FUL New front door to form draught lobby. pp not required

95/00919/LBC Conversion of existing office & workshop in water tower to offices & toilet Approved 24.01.1996

95/00912/COU Conversion of existing office & workshop in water tower to offices & toilet Approved 24.01.1996

96/00104/FUL Conversion of existing store in water tower to an office approved 20.03.1996

96/00123/LBC Conversion of existing store in water tower to an office approved 20.03.1996

97/00538/LBC Conversion of existing store in water tower to an office Approved 01.08.1997

97/00540/COU Conversion of an existing store in water tower to an office Approved 01.08.1997

97/00893/FUL Demolition & reconstruction of existing conservatory & extension of the same. Approved 01.12.1997

97/00894/LBC Demolition & reconstruction of existing conservatory & extension of the same. Approved 01.12.1997

00/00305/FUL - Insertion of new windows into two existing stable-yard bedrooms - Approved 19.04.2000

00/00306/LBC - Insertion of new windows into two existing stable-yard bedrooms - Granted 19.04.2000

02/00346/COU Change of use to hotel and residential conference facility - Approved 27.06.2002

02/01408/LBC Partial demolition and alteration of staircases to upgrade fire escape facilities. Amended plans received to comply with building regulations (inc. ramp access). Approved

27.06.2002

02/01409/LBC Removal of existing bar and relocation of new bar and new french doors
Approved 27.06.2002

04/00153/LBC Convert existing window opening to service door opening with door similar to existing. Approved 18.03.2004

04/02675/TEMP RETROSPECTIVE - Temporary permission for installation of portacabin -
Approved 21.01.2005

04/00867/LBC Conversion of existing sales office to form new female toilets, alterations of existing toilet accommodation to form larger male toilets. - Approved 12.05.2004

04/02676/FUL Erection of two sections of timber fencing - Approved 24.1.2005

04/01126/LBC Reposition kitchen and washup area, alter circulation and servery and re-order adjoining rooms to improve hygiene and health and safety issues. Approved 16.08.2004

20/00915/FUL Change of use of land for the siting of 4 no. portacabins and 2 no. storage container units for a temporary period of one year during renovation and development works associated with the hotel - Approved 24.08.2020

20/02344/FUL - Internal and external works to The Stables and the provision of a replacement plant room following demolition of existing plant room - Approved 06.04.2021

20/02345/LBC - Internal and external works to The Stables and the provision of a replacement plant room following demolition of existing plant room Approved- 06.04.2021

RELEVANT PLANNING POLICY

S16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that in considering whether to grant listed building consent for any works the local planning authority or the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

The adopted development plan for Hart district comprises the Hart Local Plan (Strategy and Sites) 2032 (HLP32), the saved policies of the Hart District Local Plan (Replacement) 1996-2006 (HLP06). Adopted and Saved policies are up to date and consistent with the NPPF (2021).

The Hartley Wintney Neighbourhood Plan 2017-2032 is also part of the development plan, however the site is outside the neighbourhood area.

The relevant policies within the Development Plan are:

Hart Local Plan (Strategy & Sites) 2032 (HLP32):

Policy NBE8 - Historic Environment

Hart District Local Plan (Replacement) 1996-2006 'saved' policies (HLP06):

Policy GEN1 - General Policy for Development

Other relevant planning policy documents:

National Planning Policy Framework 2021 (NPPF)
National Planning Practice Guidance (PPG)

CONSULTEES RESPONSES (summarised)

Hartley Wintney Parish Council

No objection.

- Councillors have reviewed the amended proposal and are pleased to see that the applicant has taken note of the comments made in relation to the design of the glasshouses. The amended design reflects upon the original glasshouses and now complements the features of the Walled Garden in which it sits. Pleased that the original glasshouses will be dismantled and re-erected elsewhere on the site.

The Victorian Society

(revised response of 08/06/2022)

- Overall the amendments address most of our previously raised concerns and we welcome the omission of the glazed corridor and stable proposal from the application. Similarly the design changes to Heather and Bluebell Cottages are appreciated and these are now acceptable.
- However our concerns regarding the walled gardens and glass houses remain.
- The proposed landscaping of the walled garden would harm the significance of the Registered Park and Garden and the setting of the Listed Building.
- Similarly it is unfortunate that the removal of the glasshouses is still contemplated. It is feasible that at least some of the existing glasshouses could be restored in place. The loss of the glasshouses would harm the significance of the walled garden and the historic legibility of the garden as part of the wider historic estate and house. When paired with the harmful landscaping proposals this damage would be considerable, eroding the impression of how the walled garden originally functioned.
- Notes the alterations which have been made to the design of the new spa complex and the more uniform proposed elevation which would face into the walled garden. However, these changes do not address previously raised concerns. The proposed design would continue to have a larger footprint than the existing glasshouses and intrude upon an historic axial route within the walled garden, thus harming its significance.

Hampshire Garden Trust

- This is a major proposal for this important site of a Grade II* listed building and its setting. Much of the proposals are concerned with the architecture and the potential impact upon the setting and this will be dealt with by others well qualified within their remit. Following a site visit in October last year, the Trust's comments will therefore be confined to any impact upon the historic landscape. The scheme has developed from previous proposals and some of the more controversial aspects of those proposals from earlier last year have been removed, thus our comments are focused on a few particular items.
- The Proposed Spa within the Walled Garden: This is a large s complex and although it

has been attempted to be set into the slope, it will inevitably have a visual impact. Some reduction in scale would serve the setting better at this high point and in respect of the main house.

- Glass houses: One particular aspect of concern is the replacement of the existing glasshouses. Such glass houses are becoming a rarity and any loss as such would be detrimental to the historic relationship of the site and the setting. It is recognised that the structure is in a parlous condition, but it has been let get into that state. It is hoped that this can be reconsidered, and a scheme of restoration and reuse can be put forward in order to retain this piece of the house's history.
- Redevelopment at the western end of the Walled Garden: Any development must have close regard to the nearby listed Gardener's Cottage and the Water Tower, together with the visual aspect when viewed from the walled garden. The proposed demolition of the two 'modern' houses and their replacement with new larger scaled dwellings with historic leanings would appear to increase the visual impact upon the view from the Walled Garden, due to their style and scale, including the proposed Journeyman's Cottage. Whilst the existing houses are not of any particular merit, they are unobtrusive in the setting and one wonders in this era of sustainable thinking whether a scheme of upgrading of the existing might not be more beneficial all round? If they are to be replaced then considering the overall effect of any buildings at this western boundary of the Walled Garden, perhaps it should be the aim of any new designs for buildings to be set below the height of the tall wall, or at least be visually recessive in impact.
- Landscaping: The deliverance of a high-quality scheme will be vital to the success of this development. Careful reference the original 18th Century landscape and refurbishment of the areas of the Golding's design with appropriate trees and planting are to be welcomed. Planting proposals should conform to the historic information where possible. Particular attention should also be given to the proposed extended parking area within the lower end of the Walled Garden.

Historic England

(revised response of 08/06/2022)

- Historic England welcomes a number of amendments to the scheme and the provision of additional information. Nevertheless, some aspects of the proposals, particularly the design of the Spa and Journeyman's Cottage, would still harm the significance of the estate. In our view this harm is not justified as it could be greatly reduced by improved design.
- Additionally, critical information is required relating to the repair and phasing strategy of the proposed development. We therefore suggest that determination of these applications be delayed to give the applicant the opportunity to make revisions and provide additional information in line with our detailed advice.
- The Spa: Construction a spa inside the walled garden would inevitably harm the significance of this space. It would involve the loss of glass houses that form an important element of the productive garden and their replacement with a larger structure that would encroach into the garden area. However, we recognise that the glass houses are in very poor condition, they do not have a usefulness to the current owner that would justify the expense of their reconstruction, and this would be the least instructive location for a spa that was close enough to the house.

- We therefore accept the principal of a spa on this site, but its design should have as little impact on the character and appearance of the walled garden as possible. The current proposals look rather awkward and thus the building would be more intrusive than it needs to be.
- The reason for this awkwardness is that the architects have referenced the form of glasshouses, but the new building would have a much larger footprint. A design study has been undertaken to explore how to deal with this and the solution arrived upon is to place two mono-pitch roofs behind the main pitch, creating a ridge and furrow effect. This results in a confused and over-complicated design. There are too many roof pitches and the front slope rises to a rather odd glazed peak. This complexity contrasts with the simplicity that Lean-to glasshouses around walled gardens historically have taken and fails to create a truly elegant building in this space.
- The options study looks at a number of alternatives, none of which are wholly satisfactory. This leads us to conclude that attempting to reference the form and character of the existing glasshouse is not the best approach here. Creating a completely new design that fits the character of the walled garden well, and has a simpler form, is likely to result in a better building. Orangeries, which tended to be larger buildings, may act as a good starting point for the design.
- Development in and around the walled garden: Historic England maintains the view that the proposed Journeyman's Cottage would have a negative impact on the setting of the Gardener's Cottage, by intensifying development around it.
- Proposals seek to emulate the early 20th century 1 ½ storey workshop building to the north as opposed to the likely more modest 19th century linear building previously on the site. Proposals therefore create a building taller, longer (extending further south) and projecting further west than previous historic and existing development.
- Heritage benefits: As stated in our last letter, we welcome the inclusion within the application of a number of comprehensive condition assessments and are pleased that a condition report has now been included for the interior of the Hall as requested. Together the reports identify extensive repairs required across the site. We also welcome the sharing of the Gantt chart which gives indicative phasing of repairs.
- However, at present it is unclear what repairs would be undertaken, as there is no prioritised schedule of works, nor is there a commitment to link the delivery of these works with the new development proposed. This means that the positive benefit that can be attached to these works should be regarded as limited.

Hampshire County Council (Archaeology)

- The site has high archaeological potential for containing significant archaeological remains. These remains could provide valuable information, feeding into local and regional research agendas regarding the origins of Elvetham, the development of the site throughout the medieval and post medieval period and the later uses of the Hall. The proposed works will negatively impact these remains where they are present.
- Therefore, recommend that an archaeological condition is attached to any planning permission granted, in keeping with NPPF. Owing to the complex and multi-faceted nature of the development proposals, this condition should secure the submission and

implementation of an Archaeological Mitigation Plan.

- This document should describe and coordinate the approach to the archaeological mitigation of the development, setting out detailed methods and plans for archaeological responses to each of the elements of the development. The document should also set out provision for reporting and public dissemination of the results of the archaeological work.
- The potential of the different elements of the proposal to impact below ground archaeological remains and the fabric of standing historic buildings (see submitted DBA) is as follows:
 - The Hall: May incorporate elements of earlier buildings e.g., 16th century basements. Courtyard has high potential for unidentified archaeological remains associated with earlier buildings therefore archaeological response required i.e., a phased approach to archaeological mitigation and/or archaeological monitoring.
 - Event Centre: Deep excavations proposed in an area that possibly contained an estate village the remains of which may survive, and a Second World War Air Raid Shelter will be removed.
 - Archaeological interest in this area is high and the proposal has potential to result in the partial or total loss of significance to unidentified buried archaeological assets which may be of regional or local significance therefore archaeological response required i.e., evaluation, followed by mitigation and a programme of historic building recording for the air raid shelter -not agreed that the air raid shelter is of low significance - the study of civilian air raid shelters is specifically mentioned in the regional archaeological research agenda (Solent-Thames Research Framework 2014, pp.289) with many examples being demolished with no record. As such, any programme of historic building recording should not solely be a descriptive Level 2 record as recommended in the submitted DBA, but should incorporate some analytical Level 3 elements.
 - Spa: Within an area of high archaeological potential related to the possible estate village and possibly waterlogged deposits of the Elizabethan Lake.
 - Agreed archaeological remains may have been affected by post medieval canals and glasshouses and 18th and 19th century landscaping. but given the extent of groundworks required for the spa, some form of archaeological evaluation should be undertaken in this area to understand the deposits and existing impact - to be followed by mitigation works if required.
 - St Mary's Church: A church was first constructed on the site in the 11th century, although the current building dates to the 19th century. The church includes a graveyard, used for burial until the 1960's.
 - Agree with DBA assessment that the archaeological interest as medium to high installation of toilets in the north transept has the potential to disturb archaeological remains and burials of local significance.
 - Do not agree the replacement of the floor will not have any archaeological implications as earlier burials disturbed by the construction of the later church may be present a disarticulated or semi in situ nature under the floor of the church along with rubble from the original church such as moulded stone elements) which could provide an indication as to the architectural style and date of the previous church building. Therefore a programme of archaeological monitoring is required.

- Heather and Bluebell Cottages: In a location that formed part of the Elizabethan lake. Agree with the DBA that below ground archaeological remains potentially linked to the landscaping associated to the Elizabethan Hall are likely to be truncated by later landscaping but that waterlogged deposits may remain but as proposed replacement cottages are not confined to the existing an archaeological response is required ie evaluation followed by mitigation, if required.

Referral of application to Secretary of State

In accordance with the Arrangements for Handling Heritage Applications – Notification to Historic England and National Amenity Societies and the Secretary of State England Direction 2021, consultations have been undertaken with Historic England and the six amenity societies.

Historic England and the Victorian Society have confirmed that they do not object to the proposal.

NEIGHBOUR COMMENTS

The statutory requirements for publicity, are set out in the Development Management Procedure Order 2015 (as amended) and the Council's Statement of Community Involvement (SCI). To publicise this application, neighbour letters were posted to relevant addresses, a site notice displayed, and a local press notice was advertised in the local newspaper providing interested parties with a minimum of 21 days to comment. Further letters were sent out following receipt of amended details and further information.

Preapplication consultations were undertaken by Engage Facilitate (EFC) on behalf of the applicant. During the process the website had 1,281 unique visits and EFC engaged with approximately 100 residents. No amendments were suggested.

No public representations regarding the submitted application have been received.

CONSIDERATIONS

HERITAGE IMPACTS

S16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that, when considering whether to grant listed building consent for any works the local planning authority or Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Paragraphs 189 - 197 of the NPPF 2021 set out the national policy in relation to proposals affecting heritage assets. Heritage assets range from sites and buildings of local historic value to those of the highest significance. These assets are an irreplaceable resource, and should be conserved in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of existing and future generations.

In determining applications LPAs should require applicants to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance. LPAs should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset), taking account of the available evidence and any necessary expertise.

When determining applications LPAs should take account of:

- a) The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- b) The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- c) The desirability of new development making a positive contribution to local character and distinctiveness.

Significance of the heritage assets.

The site is a Grade II Registered Park and Garden (RPG). The estate was emparked in 1359 and evolved from a mediaeval hunting park which dates to the Norman period and is mentioned in the Domesday Book. It was owned by the Seymour family from 1426 and Edward Seymour entertained Henry VII there in 1535 and Elizabeth 1 visited for 4 days in 1591. The estate was altered again by Samuel Sanders Teulon, who designed the main hall and stable court in the mid -19th Century. It was further developed in 1911 by landscape architect William Goldring – much of his work on the state is what survives today, apart from the Walled Garden, which dates to Teulon's work. The formal, pleasure and walled garden have all faded from their previous zenith, with the walled garden suffering to the greatest extent due to the modern car parking area it beholds. Nonetheless, the wider landscape around the hall remain of special interest and are Grade II registered.

As well as being listed in its own right, the Elvetham Estate includes the following designated heritage assets:

- The Grade II* Hall

The original Tudor house burned down in the mid 19th century and was rebuilt in more or less its present form by the Calthorpes between 1859 - 1862. It was designed by the architect Samuel Sanders Teulon one of the leading proponents of this highly ornate Victorian Gothic style.

The main Hall is constructed of red brick with stone dressings and is ornate with horizontal courses and decorations in black brick. The building is highly varied in its groupings, with one and two storey blocks and a tall entrance towers. The various roof forms include tall chimney stacks, mansards or hips with gables, dormers and finials. The interior of the hall is a showpiece of mid-19th century applied artwork and design, with stained glass windows, painted walls, decorative tiles and metalwork. There are several high quality carved fireplaces by Thomas Earp.

Alterations to the Hall took place at the turn of the 20th century, by architect Stanley Pool, including the richly decorated Chapel, with its hipped roof clerestory formed or elaborate lanterns surmounted by an octagonal cupola, ribbed and coved ceiling, trompe l'oeil painted wall hanging and fine oak carvings.

The main house was extended in the early 1900s and subsequently in 1970 on north-east elevation and a conservatory was added to south east elevation in 1956 and extended 1997-8. The landscape was enhanced in the early 20th by William Goldring.

Whilst some of the special value of the Hall is currently diluted by its poor condition and modern alterations, as a whole it remains of more than special interest, and is Grade II* listed.

- The Grade II Stable Court

Also designed by Teulon in 1860, the Stable Court uses the same High-Gothic language as the main hall. E-shaped in plan form, its principal elevation faces the historic access route into the estate.

The Stable Court has been subject to recent alterations which include the loss of the clock turret about the central gable, and alterations to door and window openings. To the rear it is enclosed by a gated decorated wall. Alterations to the interior, and particularly the west wing, the historic fabric has been concealed or lost. Nonetheless, the building remains of high value and is Grade II listed.

- The Grade II St Mary's Church

Built in 1840-1841, St Mary's Church is in the Neo-Norman style and forms an important visual group with the Hall and Stable Court. It was designed by Henry Roberts, and predates Teulon's work on the Estate. Much of the fine interior has been lost, but the exterior of the building retains its architectural and special interest.

- The Grade II Water Tower

Designed in the same High Gothic architectural style as the main Hall and Stables, it is of high architectural merit and forms an important visual understanding of how a mid-19th century estate operated.

- The Grade II Gardener's Cottage
- The Grade II garden features including the listed bridge and garden walls
- The curtilage listed glasshouses and Bothy Cottage

Overall, the estate can be said to be of significant heritage value, both in terms of the individual buildings, structures and gardens, but also in terms of the combined value of the groupings.

Assessment of harm

In its original response to the scheme, Historic England (HE) recognised the need to upgrade the facilities at the hotel, noting that this was likely to be its optimum viable use and that a degree of change may be justified in order to meet modern hotel standards. It also accepted the principle of some additional accommodation being provided and recognised that a number of heritage benefits would ensue, including the repair of the chapel, church, water tower and restoration of the gardens. However, the following aspects of the scheme were considered by HE to be harmful to the significance of the heritage assets and their setting:

- Glazed corridor to new accommodation at the rear of the hall
- Glazed corridor to the Stables
- The new spa
- Additional accommodation in and around the Walled Garden

HE concluded that these works would harm the significance of the heritage assets and this harm would be within the mid-range of 'less than substantial'. At the time of the original submission, Historic England was not satisfied that the harm caused by these elements of the scheme would not be justified or outweighed by public benefits and could be greatly reduced by improved design.

In addition, the Victorian Society (VS) also raised objection to the following aspects of the scheme, as originally submitted:

- Glazed corridor to the new extension
- Glazed corridor to the stables
- Landscape proposals around the events centre
- Loss of the glasshouses
- Design of Heather and Bluebell Cottages

Further, the Hampshire Gardens Trust (HGT), on behalf of the Gardens Trust, made the following comments in response to the impact of the proposal on the historic gardens and parkland, and its setting:

- The scale of the Spa building within the Walled Garden.
- The loss of the glasshouses.
- The scale and design of the replacement dwellings at the western end of the walled garden.
- The need for a high-quality landscaping scheme to be secured, particularly around the proposed parking area adjacent to the Walled Garden.

Following a review of these comments, and a post-submission meeting, Officers invited amendments to the scheme to address the concerns raised by consultees. Amended information was submitted on 25/03/2022 which sought to address these concerns. The amended information included:

- Removal of glazed corridor to the new extension; clarification on window sill detail and colour.
- Removal of the works to the stable block from this application (now subject to separate applications references: 22/00760/FUL and 22/00761/LBC).
- Additional information submitted in relation to the design approach for the events centre and landscaping.
- Alterations to the design of the Spa, including changes to the roof pitch and design; reduction in height at point of connection with building at the Spine wall; new openings reduced in Spine wall; bulk reduced by breaking down the building into sections to better resemble the glass houses; alterations to the dwarf wall heights; and a reduction in the projection from the western end of the building.
- Alterations to Bluebell and Heather Cottage designs, including revised elevational treatment; lowered terraces and replacement of boundary wall with vegetative planting;

Following these amendments, the Amenity Societies (HE, VS and HGT) were reconsulted. HE is now satisfied with the removal of the glazed link and its replacement with a ramp, together with the revised design of Bluebell and Heather Cottages.

However, it remains concerned regarding the design and impact of the spa building. HE recognises that the existing glasshouses are in very poor condition, they do not have a usefulness to the current owner that would justify the expense of their reconstruction, and that the position inside the Walled Garden would be the least intrusive location for a spa that is functionally close enough to the main house.

Nonetheless, it remains concerned regarding the revised design of the Spa. The revised roof form, and replication of the design of the glasshouses, but on a different scale, results in a confusing and overly complicated design. HE recognises the design study undertaken but considers that referencing the design of the glass houses is not the correct approach. It also considers that the design of Journeyman's Cottage would be harmful to the setting of the walled garden, having taken its design cues from a 19th-century workshop, rather than the traditional linear buildings previously on site.

HE therefore concludes that whilst there are many heritage benefits from the scheme, the revised proposals would continue to result in less than substantial harm, within the middle of the spectrum of harm.

Similarly, whilst the VS is now satisfied following the removal of the glazed Spa link and revised design of Bluebell and Heather Cottages, it continues to have concerns regarding the landscaping of the walled garden and demolition of the glasshouses. In particular, reference is made to the proposal to dismantle any viable remains of the glasshouses on site and restore and reconstruct them elsewhere on site. The VS considers that it is therefore feasible that at least some of the existing glasshouses could be restored in place, and that their loss from this location, or in their entirety, would harm the significance of the walled garden and historic legibility of the garden as part of the wider historic estate and house. When paired with the harmful landscaping proposals, the damage would be considerable, eroding the impression of how the walled garden originally functioned.

The VS also remains concerned regarding the design of the Spa building, which it considers does not address its previous concerns and would continue to have a larger footprint than the existing glasshouses and intrude upon an historical axial route within the walled garden.

Therefore, the remaining elements are considered to result in the following less than substantial harm to the significance of the heritage assets:

- Loss of the existing glasshouses (curtilage listed buildings).
- Spa building (by reason of the design of its roof form and position in the walled garden, and harm to the setting of the listed buildings).
- Journeyman's Cottage (by reason of its scale and form and impact on the setting of the listed buildings).

It is acknowledged that HE remains of the view that the harm caused by the spa building and Journeyman's Cottage could be reduced through improved design. The applicant has outlined in their submission a number of design options that have been considered for the spa building, none of which HE considers to be successful. Whilst officers recognise the desire to improve the design, the application must be decided upon its merits, and the harm by reason of the design is recognised as a key harmful element which must be outweighed by other considerations, in order for the development to be acceptable overall.

The harm identified is within the middle of the less-than-substantial spectrum of harm; however, that is not to say that it is inconsequential, as the statutory test requires development to have a neutral or positive impact on heritage assets. Paragraph 202 of the NPPF set out that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

Assessment of heritage benefits

The following benefits will arise from the proposed development, which will enhance the significance of the heritage assets on site:

- Restoration of the Chapel.
- Demolition of the 1970s extension.
- Removal of the toilets from the internal courtyard.
- Restoration of the landscaped gardens.
- Removal of the Georgian glass screens on the first and second floor balconies.

- Reinstatement of the stained glass in the hall.
- Repairs to the historic fabric of the buildings, inside and out, as identified in the Condition Reports prepared by Carden and Godfrey.

The restorative works and repairs to the historic fabric of the main Hall building, Chapel, St Mary's Church and Stable Block (the subject of a separate application) as set out in the Condition Report submitted by the applicant can be attributed significant beneficial weight in terms of both the preservation and enhancement of the historic fabric of the heritage assets on site. The Condition Report categorises the repairs and enhancements into urgent works, and those which should be for attention within 2 years, 5-10 years, longer term, and routine maintenance and monitoring. The applicant has submitted a GANTT chart which sets out the time periods for these repairs to take place, which will run concurrently with the other works proposed within this application. These works can be secured by planning condition and are attributed significant weight in the heritage balance.

In addition, the proposals would deliver significant public benefits.

Historic England commented in its original consultation reply that the hotel use is likely to be the optimum viable use. To support this view, a Business Plan Review has been prepared on behalf of the applicant in order to demonstrate that the proposal represents the optimal viable use of the building, from a financial point of view. Officers have engaged the services of a hotel viability consultant, Avison Young (AY) which confirms that the business case presented by the applicant is viable and financially sound, and provides sufficient scope to offer economic benefit to the region. With regards to the applicant's financial projections, it is anticipated that the business will be in a stabilised trading position within 3 years, which AY considers reasonable.

It is noted that the proposal would also result in other economic benefits, namely the creation of local jobs throughout both the construction phase, and the operational phase, with the additional bedrooms and additional event and leisure facilities proposed. These facilities would also attract additional visitors to the local area, boosting the tourism economy more widely. Therefore, from an economic point of view, the hotel use as proposed is the optimum viable use. This attracts significant weight in favour of granting listed building consent.

In social terms, the refurbishment of the Hotel would facilitate the on-going use of the listed buildings on site and allow for its upkeep which would clearly be a benefit to current and future generations. The restoration of the historic parkland estate would provide cultural benefits in the locality and would help to preserve the rich and varied historical landscape of the region. Whilst some harm would occur to the historic setting of the buildings, through the design and form of the Spa building and Journeyman Cottages, and loss of the glasshouses, resulting in a loss of significance, when weighing this up against the social and cultural benefits the scheme would deliver, the overall outcome is considered to be beneficial, which also attracts significant weight in the planning balance assessment.

In environmental terms, it is noted that the site is not in a sustainable location and not well served by public transport. However, the site is already operating as an established hotel which is heavily reliant on the private car for guest travel. The scheme would secure the implementation of a Travel Plan, which includes a commitment to reducing unsustainable travel to and from the site. This is a clear benefit of the scheme and would be secured through

the concurrent planning application.

The proposal would also result in the need for some mitigation of harm to protected species (bats) which weighs against the proposal. However, the proposal would also deliver the restoration of the estate and parkland and would secure a Landscape and Environmental Management Plan, which would deliver clear benefits to the local environment, including restoration of the grassland habitat, improvements to the river channel, removal of invasive species, and the creation of new habitat on site. Therefore, whilst recognising the need for mitigation for bats.

Overall the proposal will result in an environmental benefit which attracts significant weight in the planning balance assessment. Again, this benefit would be secured by the associated planning application.

CONCLUSION

The proposal would result in some harm to the heritage assets on site, which is identified above as being less than substantial, and within the middle of that spectrum. Great weight is attached to the preservation and enhancement of heritage assets, in accordance with the statutory tests.

Nonetheless, the scheme would provide a comprehensive range of environmental, social and economic benefits which, having regard to all material considerations, would outweigh the harm identified.

The proposal would comply with the Development Plan and NPPF 2021. Listed Building Consent is recommended to be granted, subject to conditions.

RECOMMENDATION – That Listed Building consent be **GRANTED subject to the following conditions and informatives:**

CONDITIONS

- 1 The work and development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON:

To comply with Section 18 of the Planning (Listed Buildings and Conservation Areas) (Act 1990 (as amended))

- 2 The work and development shall be carried out in accordance with the following list of plans and documents:

The Chapel and St Mary's Church Conservation Methodology Statements
The Hall Service Courtyard Wall Methodology Statement
Conservation Management Plan
Exterior Condition Report (House, Stable, Church
Full Condition report (Gardner's Cottage, Water Tower
00-PL-00-101 Location Plan
01-PL-00-115 Proposed Site Plan Rev 03 (The Hall)
01 -PL-01-201 The Hall Demolition and strip out ground floor Rev 01
01 -PL-01-202 The Hall Demolition and strip out first floor
01 -PL-01-203 The Hall Demolition and strip out second floor
01 -PL-01-204 The Hall Demolition and strip out roof

01 -PL-01-240 The Hall Demolition and strip out sections
01 -PL-01-260 The Hall Demolition and strip out elevations
01-PL-20-210 The Hall Basement Plan proposed Rev 01
01-PL-20-211 The Hall Ground Floor Plan proposed Rev 01
01-PL-20-212 The Hall First Floor Plan proposed Rev 01
01-PL-20-213 The Hall Second Floor Plan proposed Rev 01
01-PL-20-214 The Hall Roof Plan proposed Rev 01
01-PL-20-250 The Hall Proposed Sections Rev 01
01-PL-20-251 The Hall Proposed Sections Rev 01
01-PL-20-270 The Hall proposed NE and NW Elevations Rev 02
01-PL-20-271 The Hall Proposed SW Elevation (courtyard) Rev 01
01-PL-20-275 The Hall Proposed Materiality NE and NW Elevations Rev 03
01-PL-20-320 - The Hall Chapel Demolition and strip out ground floor
01-PL-20-321 - The Hall Chapel Demolition and strip out first floor
01-PL-20-322 - The Hall Chapel Demolition and strip out section AA
01-PL-20-323 - The Hall Chapel Demolition and strip out section BB
01-PL-20-324 - The Hall Chapel Demolition and strip out section CC and DD
01-PL-20-327 - The Hall Chapel Proposed Ground Floor Rev 02
01-PL-20-328 - The Hall Chapel Proposed First Floor Rev 02
01-PL-20-332 - The Hall Chapel Proposed Section AA Rev 02
01-PL-20-333 - The Hall Chapel Proposed Section BB Rev 02
01-PL-20-334 - The Hall Chapel Proposed Section CC and DD Rev 02
01-PL-20-335 - The Hall Chapel Proposed Entrance Door Rev 02
01-PL-20-336 - The Hall Chapel Proposed Jib Double Door Rev 02
01-PL-20-337 - The Hall Chapel Proposed Balustrade Detail Rev 02
01-PL-31-600 The Hall Proposed Extension window details Rev 02
01-PL-31-602 The Hall Existing (plastic and Proposed replacement (wood) window in modern extension details Rev 02
03-PL-20-50 Proposed Section A
03-PL-20-251 Proposed Section B Rev 02
03-PL-20-252 Proposed Section C Events Centre Rev 02
03-PL-20-253 Proposed Section D Events Centre Rev 02
03-PL-20-270 Proposed South West Elevation Rev 02
03-PL-20-271 Proposed North West Elevation Rev 02
03-PL-20-272 Proposed North East Elevation Rev 02
03-PL-20-275 Proposed Rendered Elevations Rev 02
04-PL-00-115 Proposed Site Plan Rev 03 (The Spa)
04-PL-01-200 The Spa Demolition and strip out ground floor
04-PL-01-201 The Spa Demolition and strip out roof
04-PL-01-240 The Spa Demolition and strip out sections
04-PL-01-260 The Spa Demolition and strip out
04-PL-01-200 The Spa Proposed ground
04-PL-20-210 Proposed Ground Floor Plan Rev 02
04-PL-20-211 Proposed Roof Plan Rev 02
04-PL-20-250 The Spa proposed section Rev 02
04-PL-20-253 The Spa Proposed section details
04-PL-20-270 The Spa Proposed elevations Rev 02
04-PL-20-271 The Spa Proposed context elevations Rev 02
04-PL-20-272 Glasshouse Façade Diagram Rev 01
04-PL-20-273 Proposed West Elevation Rev 01
04-PL-20-275 The Spa Proposed elevations materials Rev 02
04-PL-31-600 The Spa External window details
04-PL-31-602 The Spa secondary glazing details Rev 02
04-PL-32-600 The Spa door details

05-PL-00-115 Proposed Site Plan Rev 03 (St Mary's Church)
 05-PL-01-200 St Mary's Church Demolition and strip out
 05-PL-01-240 St Mary's Church Demolition and strip out sections
 05-PL-01-241 St Mary's Church Demolition and strip out sections
 05-PL-01-242 St Mary's Church Demolition and strip out sections
 05-PL-01-243 St Mary's Church Demolition and strip out sections
 05-PL-01-260 St Mary's Church Demolition and strip out elevations
 05-PL-01-261 St Mary's Church Demolition and strip out elevations
 05-PL-20-210 St Mary's Church proposed floor plans
 05-PL-20-250 St Mary's Church Proposed sections
 05-PL-20-251 St Mary's Church Proposed sections
 05-PL-20-252 St Mary's Church Proposed sections
 05-PL-20-253 St Mary's Church Proposed sections
 05-PL-20-270 St Mary's Church Proposed elevations
 05-PL-20-271 St Mary's Church Proposed elevations
 05-PL-20-300 St Mary's Church Proposed Toilets
 05-PL-24-600 St Mary's Church proposed balustrade details
 05-PL-24-601 St Mary's Church proposed balustrade details
 05-PL-31-600 St Mary's Church proposed Door 00.02 Details - porch on south entrance
 05-PL-31-601 St Mary's Church proposed Door 00.04 - plant room
 05-PL-31-602 St Mary's Church proposed Door 01.01 Details - internal into tower gf
 05-PL-31-610 St Mary's Church proposed Window 0.00/01.02 Details - either side of porch on south elevation
 05-PL-31-611 Window 00.05 details
 05-PL-31-612 St Mary's Church proposed lateral windows nave secondary glazing Details
 05-PL-63-600 St Mary's Church proposed lighting
 05-PL-70-600 St Mary's Church proposed radiator casement
 07-PL-00-115 Proposed Site Plan Rev 03 (Water Tower)
 07-PL-01-200 Water Tower Demolition and strip out ground floor
 07-PL-01-201 Water Tower Demolition and strip out
 07-PL-01-240 Water Tower Demolition and strip out sections
 07-PL-01-241 Water Tower Demolition and strip out sections
 07-PL-01-260 Water Tower Demolition and strip out elevations
 07-PL-01-261 Water Tower Demolition and strip out elevations
 07-PL-20-210 Proposed ground and first floor plans Rev 01
 07-PL-20-211 Water Tower proposed 2nd, 3rd, 4th 5th and roof Plan
 07-PL-20-250 Water Tower Proposed sections
 07-PL-20-251 Water Tower Proposed sections
 07-PL-20-253 Water Tower Proposed sections detail of insulation
 07-PL-20-255 Water Tower Proposed sections materials Rev 01
 07-PL-20-270 Water Tower Proposed elevations
 07-PL-20-271 Water Tower Proposed elevations
 07-PL-31-620 Water Tower Proposed door details
 07-PL-31-621 Water Tower Proposed door details
 07-PL-31-630 Water Tower Proposed window details
 07-PL-31-631 Water Tower Proposed window details
 07-PL-32-600 Water Tower Proposed watertank details
 08-PL-00-115 Proposed Site Plan Rev 03 (Heather and Bluebell Cottages)
 08-PL-01-200 Heather Cottages demolition plan ground floor
 08-PL-01-201 Heather Cottages demolition plan first floor
 08-PL-01-202 Heather Cottages demolition plan roof
 08-PL-01-203 Heather Cottages demolition plan section
 08-PL-01-204 Heather Cottages demolition plan elevation

08-PL-01-210 Bluebell Cottages demolition plan ground floor
 08-PL-01-211 Bluebell Cottages demolition plan first floor
 08-PL-01-212 Bluebell Cottages demolition plan roof
 08-PL-01-213 Bluebell Cottages demolition plan section
 08-PL-01-214 Bluebell Cottages demolition plan elevation
 08-PL-20-220 Heather Cottages proposed ground floor plan Rev 02
 08-PL-20-221 Heather Cottages proposed first floor plan Rev 03
 08-PL-20-222 Heather Cottages proposed roof plan Rev 02
 08-PL-20-223 Heather Cottages proposed section Rev 02
 08-PL-20-224 Heather Cottages proposed section Rev 02
 08-PL-20-225 Heather Cottages proposed section Rev 02
 08-PL-20-226 Heather Cottages proposed section Rev 02
 08-PL-20-227 Heather Cottages proposed elevation cottage 1 Rev 02
 08-PL-20-228 Heather Cottages proposed elevation cottage 2 Rev 02
 08-PL-20-229 Heather Cottages proposed elevation cottage 3 Rev 02
 08-PL-20-240 Bluebell Cottages proposed ground floor plan Rev 02
 08-PL-20-241 Bluebell Cottages proposed first floor plan Rev 02
 08-PL-20-242 Bluebell Cottages proposed roof plan Rev 02
 08-PL-20-243 Bluebell Cottages proposed sections Rev 02
 08-PL-20-244 Bluebell Cottages proposed sections Rev 02
 08-PL-20-245 Bluebell Cottages proposed sections Rev 02
 08-PL-20-246 Bluebell Cottages cottage 1 proposed elevations Rev 02
 08-PL-20-247 Bluebell Cottages cottage 2 proposed elevations Rev 02
 08-PL-20-270 Cottages general elevation proposed Rev 02
 08-PL-20-271 Cottages general elevation proposed with landscaping Rev 02
 08-PL-20-280 Heather Cottage 2 coloured with materials Rev 02
 08-PL-20-281 Bluebell Cottage 2 coloured with materials Rev 02
 10-PL-20-230 Refuse Storage 2 Proposed Ground Floor and Roof Plan
 10-PL-20-235 Refuse Storage Proposed Sections
 10-PL-20-240 Refuse Storage Proposed Elevations
 10-PL-20-241 Refuse Storage 2 Proposed Elevations
 10-PL-20-250 General Arrangement plan Garden Yard Rev 01
 10-PL-20-255 Garden and Refuse Storage Proposed Ground Floor Plan
 10-PL-20-256 Garden and Refuse Storage Proposed Roof Plan
 10-PL-20-257 Proposed Sections Wilder Gardens Rev 02
 10-PL-20-258 Proposed Elevations Wilder Gardens Rev 02
 10-PL-20-259 Proposed Elevations Walls Wilder Gardens Rev 02
 10-PL-31-600 Proposed main entrance gate
 10-PL-31-605 proposed gate to car park
 11-PL-00-115 Journeyman's Cottage Proposed Site Plan Rev 02
 11-PL-01-200 Journeyman's Cottage Demolition and strip out floor plans
 11-PL-01-201 Journeyman's Cottage Demolition and strip out roof
 11-PL-01-240 Journeyman's Cottage Demolition and strip out sections
 11-PL-01-260 Journeyman's Cottage Demolition and strip out elevations
 11-PL-20-210 Journeyman's Cottage Proposed ground and first floor plans
 11-PL-20-211 Journeyman's Cottage Proposed roof plan
 11-PL-20-250 Journeyman's Cottage Proposed sections showing detail of insulation
 11-PL-20-270 Journeyman's Cottage Proposed Elevations
 11-PL-20-271 Journeyman's Cottage Proposed Elevations materials
 11-PL-20-275 Journeyman's Cottage Proposed Elevations in context Rev 02
 11-PL-31-600 Journeyman's Cottage Proposed opening in garden wall

REASON:

In the interests of well-planned development and to ensure that the significance of the

heritage assets is maintained to comply with Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990, Policy NBE8 of the HLP and the NPPF 2021.

3. The work and development hereby permitted shall be carried out in the three phases set out in the approved document entitled 'The Elvetham Hotel Project Phases July 2022' document, received 12/07/2022. No part of the category B works in any phase shall be occupied until the category A works in the same phase have been completed in accordance with the approved plans and unless written approval of the category A works has been given by the Local Planning Authority. All category A repair works shall be supervised by a conservation-accredited architect, details of whom shall be provided to the Local Planning Authority prior to the commencement of those works.

If any variation is required to the phases, this shall be first agreed in writing with the local planning authority.

Phase 1

Category A – Main Hall Morning Room Redecoration, St Mary's Church, all Priority Category I Repairs for each relevant building as per C&G Summary of Recommendations
Category B – Spa

Phase 2

Category A – Garden & Wider Estate Works (except Walled Garden), all Priority Category II Repairs for each relevant building as per C&G Summary of Recommendations, including Main Hall Bar Redecoration and removal of existing male toilet block at Main Hall
Category B – Heather & Bluebell Cottages, Journeyman Cottages

Phase 3

Category A – Water Tower, Main Hall Chapel, Garden & Wider Estate Works (Walled Garden only), all Priority Category III, IV and V Repairs for each relevant as per C&G Summary of Recommendations
Category B – Events Centre

REASON:

To preserve the special architectural and historic interest of the adjacent listed buildings to comply with S16 (2) of the Planning (Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

4. Prior to the commencement of each element of the works or development hereby approved and as outlined in the submitted List of Works, a detailed schedule of works shall be submitted to and approved in writing by the LPA. Where works involve structural intervention, a detailed method statement to explain the approach should be submitted, with accompanying plans (where relevant). The development shall be undertaken in strict accordance with the agreed details, unless otherwise first agreed in writing by the LPA.

REASON:

To preserve the special architectural and historic interest of the adjacent listed buildings to comply with S16 (2) of the Planning (Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

5. Prior to the commencement of each element of the work or development hereby approved and as outlined in the submitted List of Works, drawings to a scale of not less than 1:5 detailing all new and altered windows, doors and openings shall be submitted to and approved in writing by the LPA. Such details shall include the following:

Materials

Cross sections of frame, transom, mullions, glazing bars etc

Method of openings

The work or development shall be carried out in strict accordance with the approved details, unless otherwise first agreed in writing by the LPA.

REASON:

To preserve the special architectural and historic interest of the adjacent listed buildings to comply with S16 (2) of the Planning (Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

6. Prior to the commencement of each element of the work or development hereby approved and as outlined in the submitted List of Works, samples or detailed specification of external material finishes, including colour, face bond and jointing profile of the brickwork shall be submitted to and approved in writing by the LPA. The development shall be carried out in strict accordance with the approved details, unless otherwise first agreed in writing by the LPA.

REASON:

To preserve the special architectural and historic interest of the adjacent listed buildings to comply with S16 (2) of the Planning (Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

7. If hidden features are revealed during the course of the works, they should be retained in situ. Works should be suspended in the relevant area of the building(s) and the LPA notified immediately. Failure to do so may result in unauthorised works that may constitute a criminal offence.

REASON:

To preserve the special architectural and historic interest of the adjacent listed buildings to comply with S16 (2) of the Planning (Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

Construction of the Events Centre

8. Prior to the commencement of works for the excavation and construction of the Events Centre, a detailed method statement for the construction of the subterranean area shall

be submitted to and approved in writing by the LPA. The methodology shall include measures to ensure that the heritage assets in the vicinity will not be undermined by the excavation works, and where relevant, shall include a schedule of protective works for the house and garden walls. The submitted report shall be prepared by a conservation accredited structural engineer, or other such competent person. The works shall thereafter be carried out in strict accordance with the details submitted, unless otherwise first agreed in writing by the LPA.

REASON:

To preserve the special architectural and historic interest of the adjacent listed buildings to comply with S16 (2) of the Planning(Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

Works to the Chapel

9. Prior to the commencement of the relevant works on the Chapel, a detailed schedule of works and methodology for the cleaning of wall surfaces and paint, including:
- Details of suitably qualified specialist who will undertake the works
 - Method of cleaning
 - Standard of finish
 - Location and dimensions of patch test

shall be submitted to and approved in writing by the LPA. The work or development shall be carried out in strict accordance with the agreed details. No variation to the agreed schedule of works and methodology shall take place without the prior written agreement of the LPA.

REASON:

To preserve the special architectural and historic interest of the adjacent listed buildings to comply with S16 (2) of the Planning(Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

10. Prior to the commencement of the relevant works, the repair of the windows in the Chapel shall be undertaken in accordance with a strategy to be first submitted to and agreed in writing by the LPA in writing before such work commences.

REASON:

To preserve the special architectural and historic interest of the listed building to comply with S16 (2) of the Planning (Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

Works to the Hall and Water Tower

11. Notwithstanding the information submitted with the application, no works or development in relation to the extension on the north east elevation of the Hall shall take place until and unless samples or detailed specification of the materials for the following elements have been submitted to and agreed in writing by the Local Planning Authority:

- walls
- pediments
- roof finish
- sills
- door and window frames.

Such works shall be carried out in accordance with the approved details, unless otherwise first agreed in writing by the LPA.

REASON:

To preserve the special architectural/historic interest and setting of the listed building to comply with S16 (2) of the Planning (Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

12. Notwithstanding the requirements of Condition 6 above, no repair works shall take place to the exterior brickwork of the Hall until details of the re-pointing to be undertaken, including the extent and form of joint and mortar mix, have been submitted to and approved in writing by the Local Planning Authority. No other works shall commence on site until a sample panel of one square metre of part of the area to be re-pointed has been prepared for inspection and approved in writing by the Local Planning Authority. The works shall be implemented in accordance with the approved details, unless otherwise first agreed in writing by the LPA.

REASON:

To preserve the special architectural/historic interest and setting of the listed building to comply with S16 (2) of the Planning (Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

13. Notwithstanding the requirements of Condition 6 above, no repair works shall take place to the exterior brickwork of the Water Tower until details of the re-pointing to be undertaken, including the extent and form of joint and mortar mix, have been submitted to and approved in writing by the Local Planning Authority. No other works shall commence on site until a sample panel of one square metre of part of the area to be re-pointed has been prepared for inspection and approved in writing by the Local Planning Authority. The works shall be implemented in accordance with the approved details, unless otherwise first agreed in writing by the LPA.

Reason : To preserve the special architectural/historic interest and setting of the listed building to comply with S16 (2) of the Planning(Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

14. Should any areas of brickwork be required to be dismantled during the works, a detailed specification for dismantling (by hand) and an elevational plan of the areas to be dismantled shall be submitted to and agreed in writing by the LPA. No variation from the agreed method or areas to be dismantled shall be undertaken without the prior written agreement of the LPA.

REASON: To preserve the special architectural/historic interest and setting of the listed building to comply with S16 (2) of the Planning (Listed Building and Conservation Areas)

Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

15. Prior to the commencement of works to the Water Tower, a detailed methodology and materials of insulation, windows and design of the top of the staircase shall be submitted to and approved in writing by the LPA. The works or development shall be carried out in strict accordance with the approved details, unless otherwise first agreed in writing by the LPA.

REASON: To preserve the special architectural/historic interest and setting of the listed building to comply with S16 (2) of the Planning (Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

Works to St Mary's Church

16. Prior to the commencement of works on St Mary's Church a methodology and further details of the materials and including provision for ventilation for the secondary glazing to the windows shall be submitted to and approved by the LPA in writing. Such works shall thereafter be carried out in accordance with the approved details, unless otherwise first agreed in writing by the LPA.

REASON:

To preserve the special architectural/historic interest and setting of the listed building to comply with S16 (2) of the Planning (Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

Construction of the Spa/ removal of the glass houses

17. No works to remove the existing glass houses shall be undertaken unless and until a scheme for level 3 recording and subsequent deposition of the record, including updating the local Historic Environment Record, has been secured in accordance with details submitted to and approved by the Local Planning Authority in writing. The recording shall be carried out by a suitably qualified professional and the glass houses shall be labelled and stored in accordance with the approved scheme. No variation to the agreed scheme shall take place unless otherwise first agreed in writing.

REASON:

To mitigate the loss of the heritage asset to comply with S16 (2) of the Planning (Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

18. No works shall commence to construct the Spa unless and until a detailed methodology (including proposed materials) for the installation of the roof and insulation, blocking of windows and doors and installation of secondary glazing for the back of the sheds to be retained has been submitted to and approved by the LPA in writing and the works thereafter carried out as approved.

REASON:

To preserve the special architectural and historic interest of the listed building to comply with S16 (2) of the Planning (Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

Works to the Journeyman Cottages

19. No works to the proposed opening in the garden wall to construct the Journeyman Cottage shall commence unless and until details of the materials and the design of insulation against the garden wall including secondary glazing has been submitted to and approved by the LPA in writing. The works shall thereafter be carried out in accordance with the approved details.

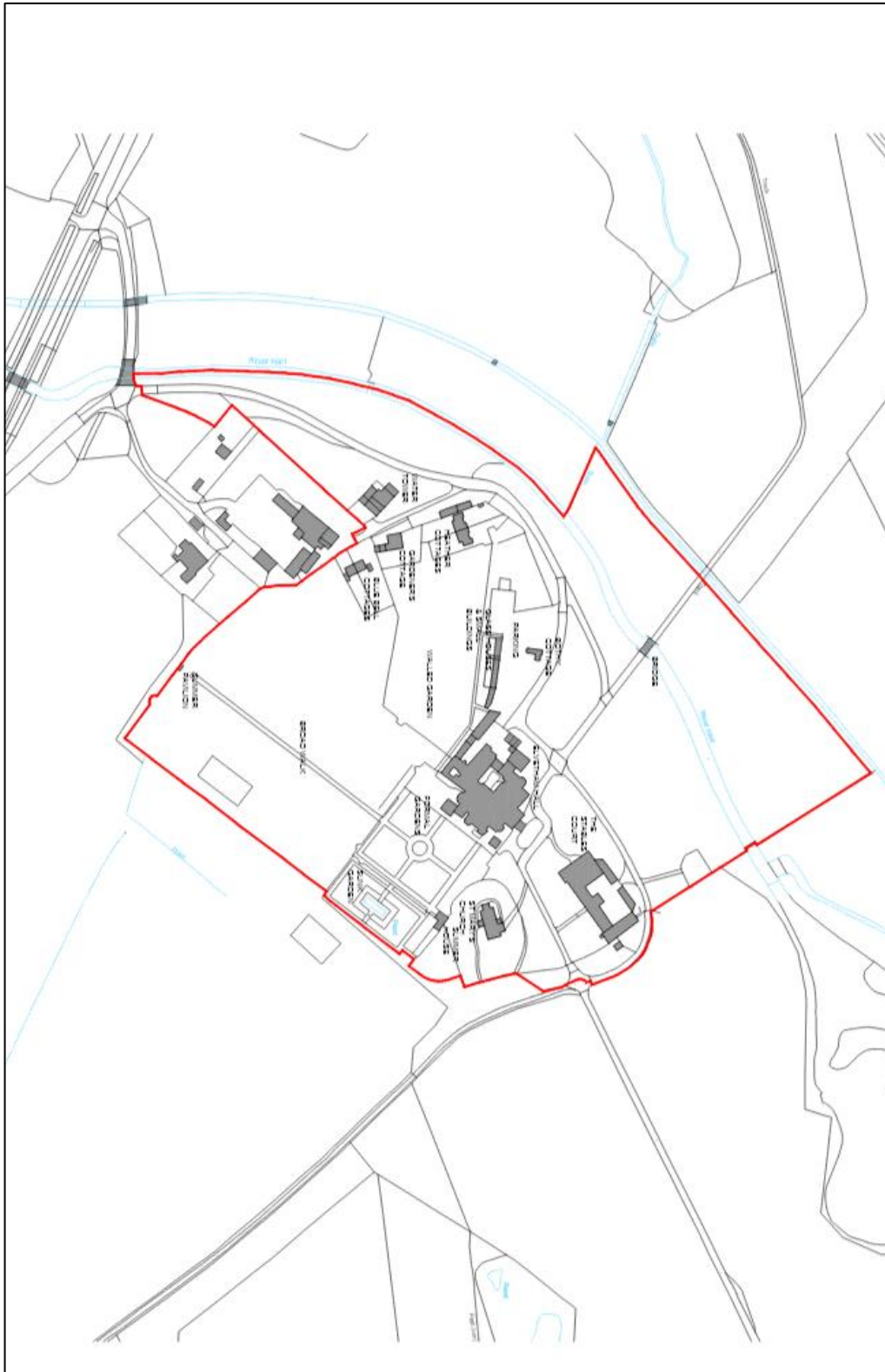
REASON:

To preserve the special architectural and historic interest of the listed building to comply with S16 (2) of the Planning (Listed Building and Conservation Areas) Act 1990, Planning Policy NBE8 of the HLP and guidance contained within the National Planning Policy Framework 2021.

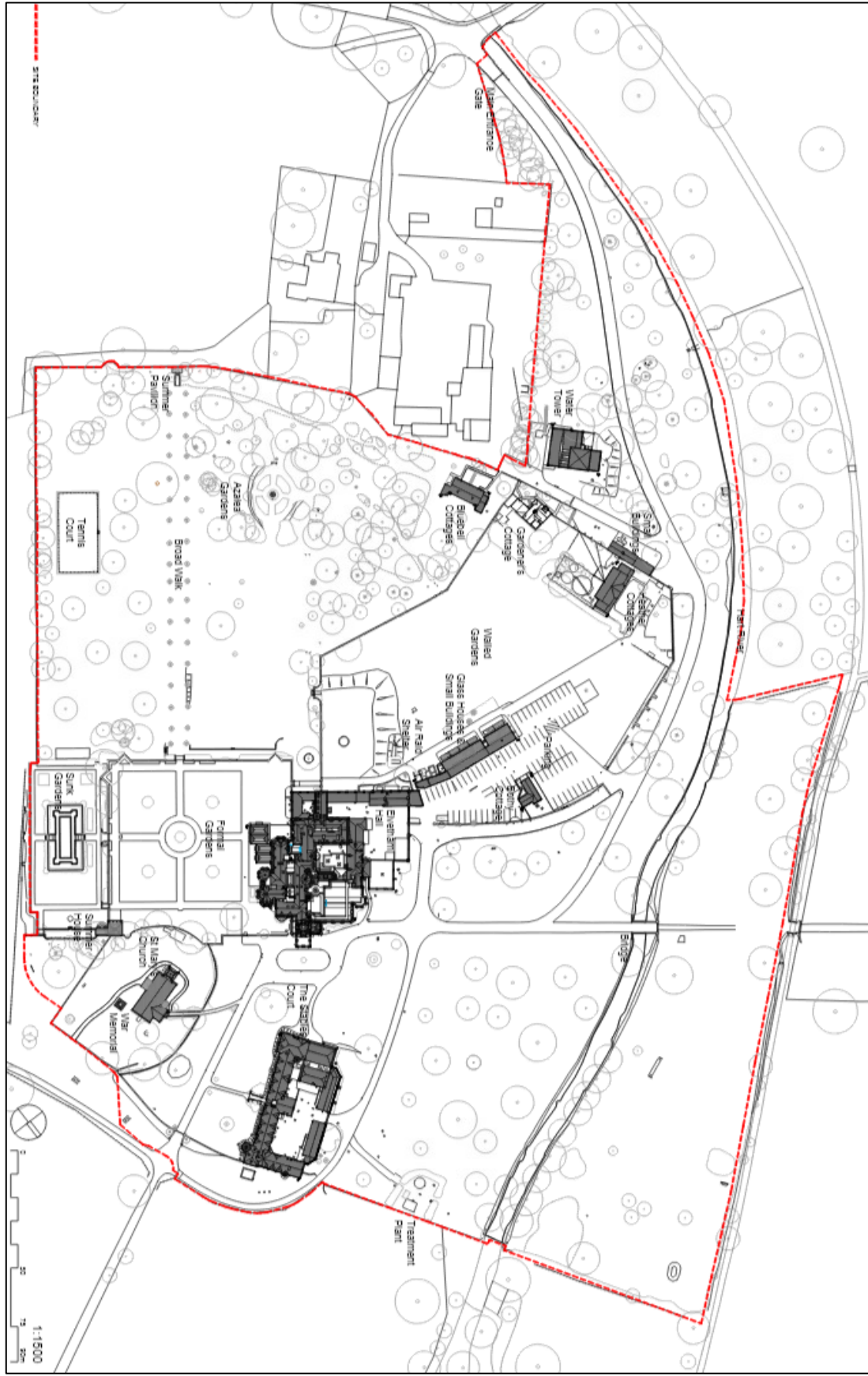
INFORMATIVES

- 1 The Council works positively and proactively on development proposals to deliver sustainable development in accordance with the NPPF. In this instance: The applicant was advised of the necessary information needed to process the application and once received, the application was acceptable and no further engagement with the applicant was required.

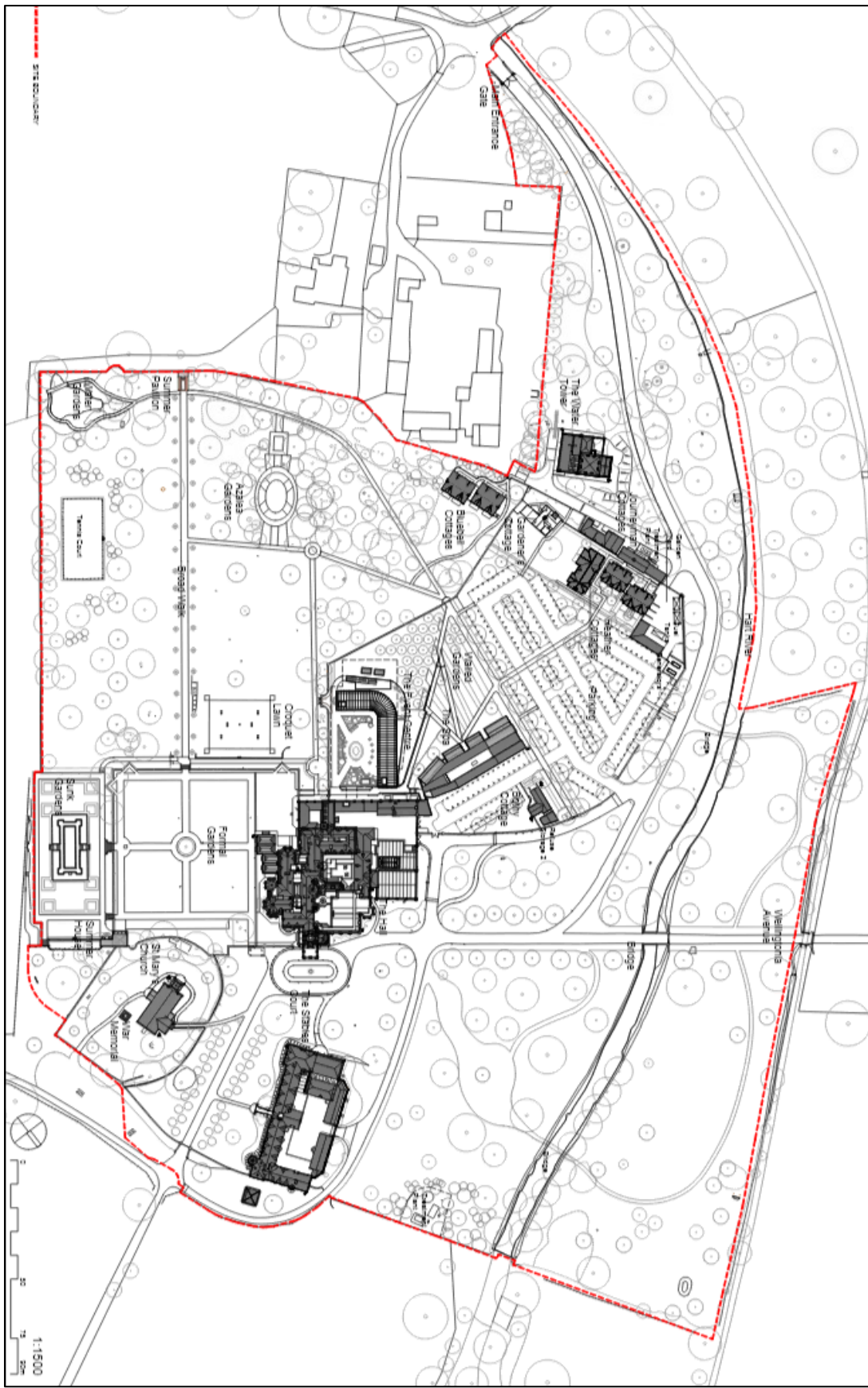
Location Plan



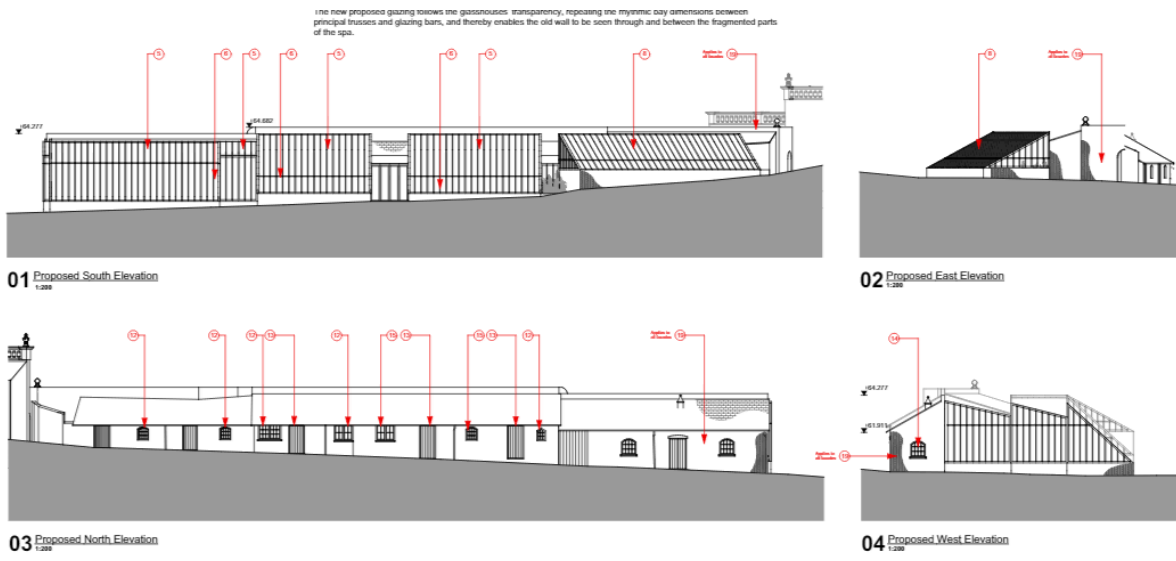
Existing site plan



Proposed site plan

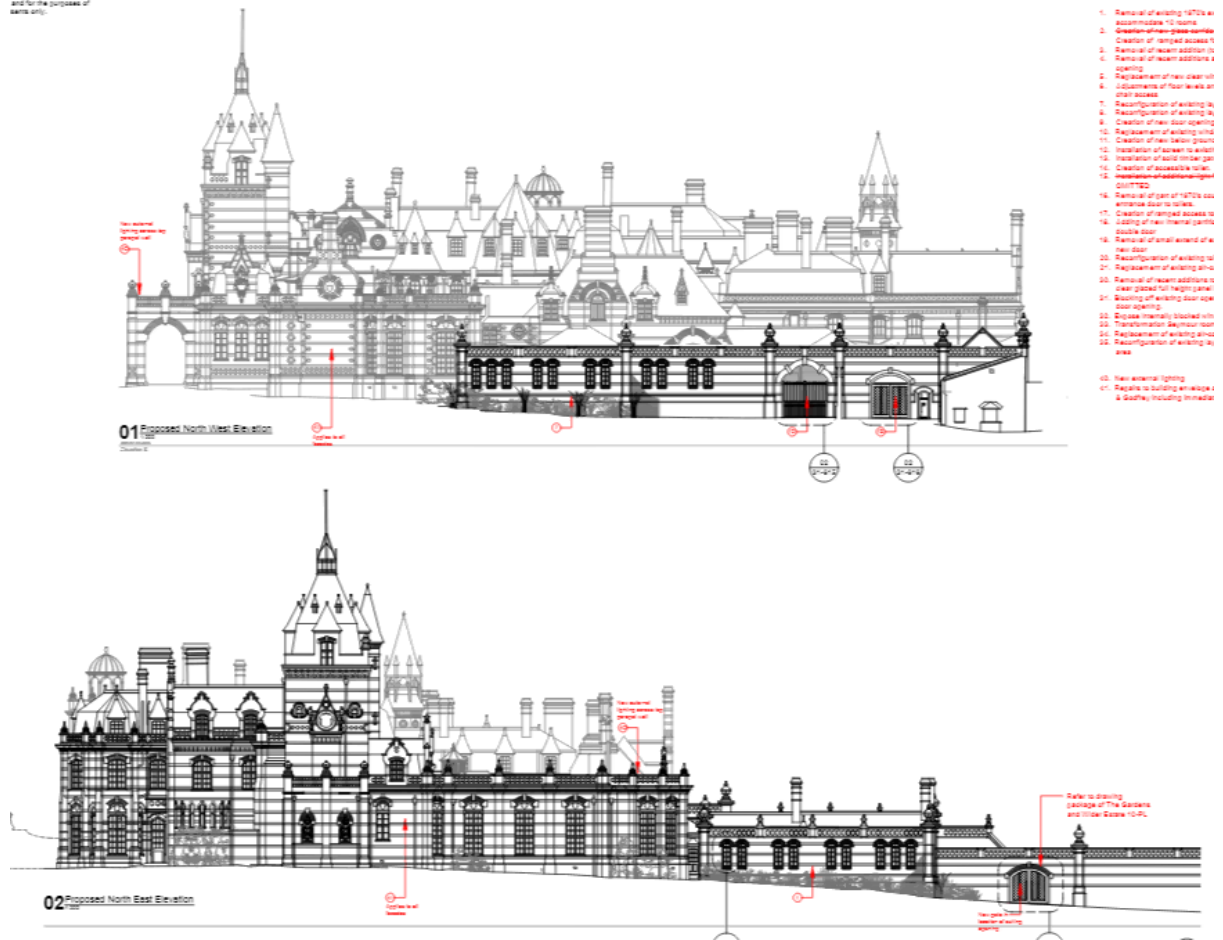


The Spa – proposed elevations



The main hall – proposed elevations

All drawings are as
implied by the scale
and for the purposes of
sets only.



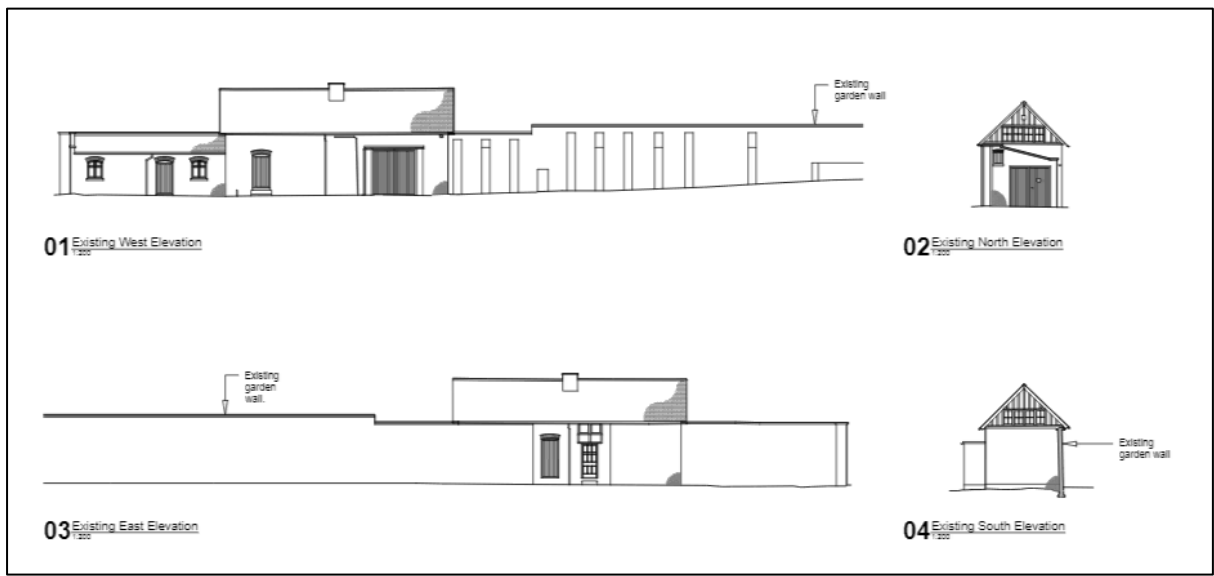
Heather Cottage – existing elevations



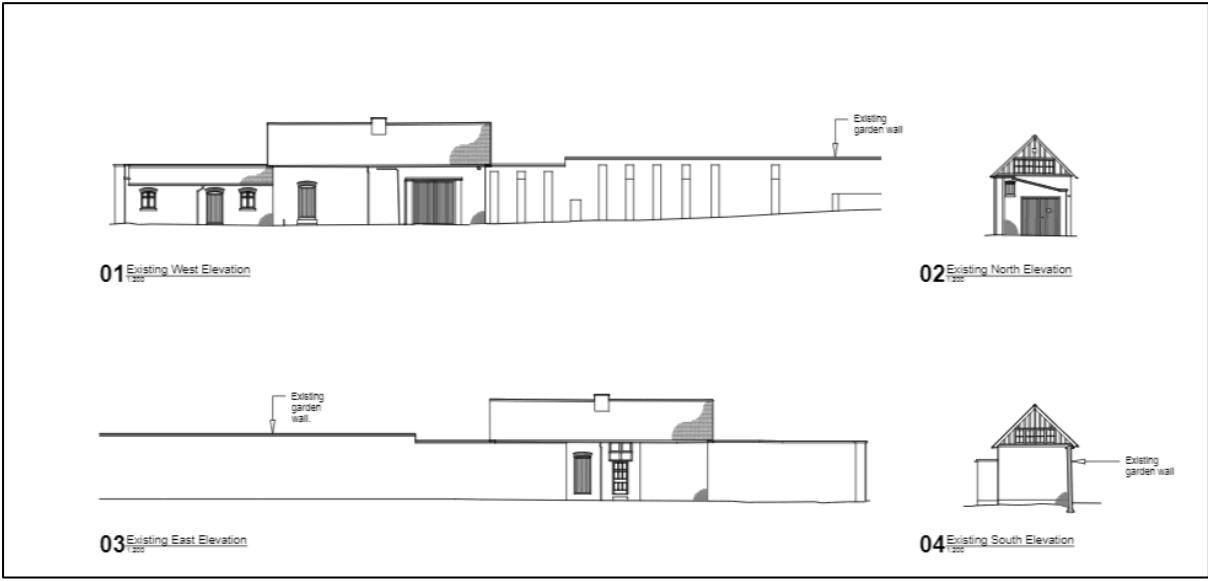
Heather Cottage – proposed elevations



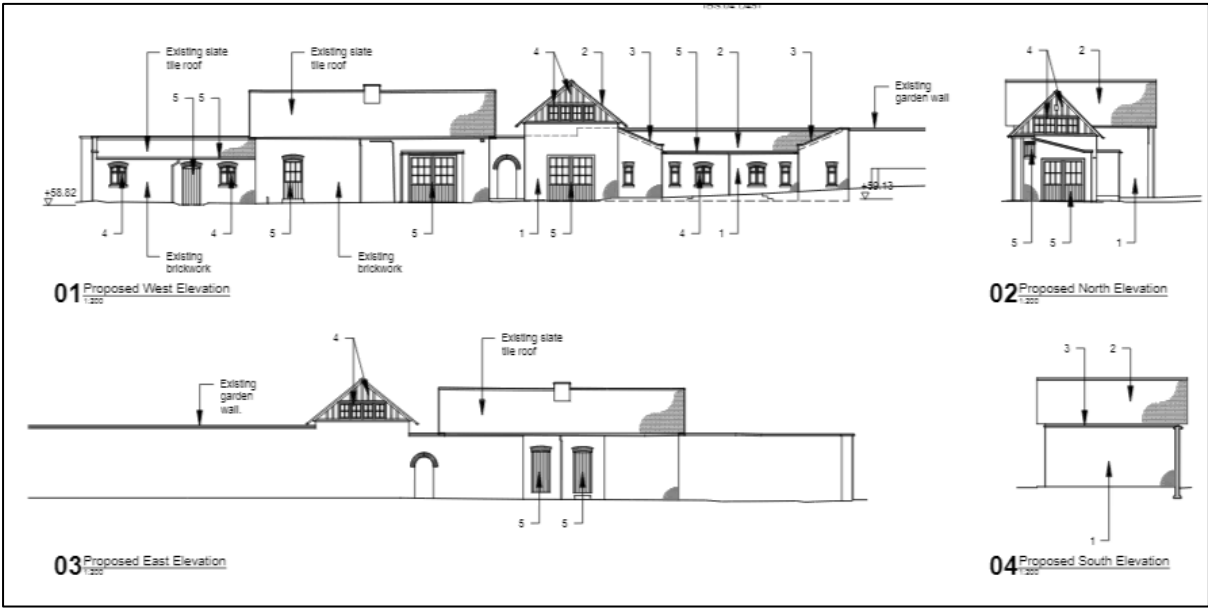
Journeyman Cottages – existing elevations



Journeyman Cottages – existing elevations



Journeyman Cottages – proposed elevations



Bluebell Cottages – existing elevations



Proposed elevations – Bluebell Cottage



